

NOTICE OF PUBLIC MEETINGS

DATE	TIME	EVENT/PLACE **	PERSONS ATTENDING
Feb 20	1:30 p.m.	AUGUSTA COUNTY SERVICE AUTHORITY	Shull & Wells
Feb 24	9:30 a.m. 10:30 a.m. 1:30 p.m. 5:00 p.m.	ECONOMIC DEVELOPMENT COMMITTEE PUBLIC SAFETY COMMITTEE STAFF BRIEFING ELECTORAL BOARD	Garber & Wells Wells & Shull All Members
Feb 25	8:30 a.m.	DEPT OF SOCIAL SERVICES	
Feb 26	7:00 p.m.	BOS MEETING	All Members
Feb 27	7:00 p.m.	BROADBAND COMMITTEE	Carter & Morelli
Mar 2	1:30 p.m.	CMPT	
Mar 4	10:00 a.m.	MPO POLICY BOARD	Seaton
Mar 5	9:30 a.m. 1:30 p.m.	BZA STAFF BRIEFING BZA	
Mar 10	7:00 p.m.	PLANNING COMMISSION	
Mar 11	3:00 p.m. 7:00 p.m.	ORDINANCE COMMITTEE BOS MEETING	Carter & Shull All Members
Mar 16	7:00 p.m.	RECYCLING COMMITTEE	Seaton
Mar 17	10:00 a.m. 10:00 a.m. 5:30 p.m.	HEADWATERS SOIL & WATER CONSERVATION DIST. VALLEY PROGRAM FOR AGING SERVICES CAP-SAW	Carter & Seaton
Mar 18	7:00 p.m.	PARKS & RECREATION COMMISSION	Morelli
Mar 19	1:30 p.m.	AUGUSTA COUNTY SERVICE AUTHORITY	Shull
Mar 23	9:30 a.m. 10:30 a.m. 1:30 p.m.	ECONOMIC DEVELOPMENT COMMITTEE PUBLIC SAFETY COMMITTEE STAFF BRIEFING	Garber & Wells Wells & Shull All Members
Mar 24	8:30 a.m. 7:00 p.m.	DEPT OF SOCIAL SERVICES AUGUSTA COUNTY EMERGENCY SERVICES	Wells & Shull
Mar 25	7:00 p.m.	BOS MEETING	All Members
Mar 26	4:00 p.m. 7:00 p.m.	LIBRARY BOARD BROADBAND COMMITTEE	Morelli Carter & Morelli
April 16	11:00 a.m.	ECONOMIC DEVELOPMENT AUTHORITY	
April 20	12:00 noon	AUGUSTA COUNTY FARM BUREAU WOMEN'S COMMITTEE LUNCHEON (Verona Office)	All Members

M E M O R A N D U M

February 20, 2020

TO: Augusta County Board of Supervisors

FROM: Timothy K. Fitzgerald, County Administrator

SUBJECT: **STAFF BRIEFING, MONDAY, FEBRUARY 24, 2020, 1:30 p.m.**
Board Meeting Room, Government Center, Verona, VA

ITEM NO.	DESCRIPTION
** EMPLOYEE OF THE YEAR PRESENTATION **	
S/B-01	1:30 p.m. <u>VDOT ROADS (SEE ATTACHED)</u> Report by VDOT
S/B-02	<u>ECONOMIC DEVELOPMENT (SEE ATTACHED)</u> Report by Staff
S/B-03	<u>FIRE AND RESCUE (SEE ATTACHED)</u> Report by Staff
S/B-04	<u>LIBRARY ANNUAL REPORT (SEE ATTACHED)</u> Presentation by staff of Library Annual Report.
S/B-05	<u>BUILDING INSPECTIONS ANNUAL REPORT (SEE ATTACHED)</u> Presentation by staff of Building Inspections Annual Report
S/B-06	<u>PLANNING COMMISSION ANNUAL REPORT (SEE ATTACHED)</u> Presentation by staff of Planning Commissions Annual Report
S/B-07	<u>BOARD OF ZONING APPEALS ANNUAL REPORT (SEE ATTACHED)</u> Presentation by staff of Board of Zoning Appeals annual report.
S/B-08	<u>RECYCLING COMMITTEE ANNUAL REPORT (SEE ATTACHED)</u> Presentation by staff of Recycling Committee
S/B-09	<u>DUPONT SETTLEMENT MONEY (NRDAR) (SEE ATTACHED)</u> Discuss property purchase for the Doods Crossing site.
S/B-10	<u>VHDA TAX CREDIT PROJECTS (SEE ATTACHED)</u> Discuss revitalization areas.
S/B-11	<u>ZAPTON PROPERTY-111/113 S. AUGUSTA ST. (SEE ATTACHED)</u> Discuss the lease of real estate (111/113 South Augusta Street in the City of Staunton, VA) owned by the County of Augusta and authorize the County Administrator to sign and execute the documents.

- S/B-12 **STUARTS DRAFT RURITAN CLUB (SEE ATTACHED)**
Discuss funding from the South River Infrastructure for a water leak at Schneider Park.

Funding Source: South River Infrastructure 8016-95 \$1,877.88
- S/B-13 **SPOTTSWOOD COMMUNITY CENTER**
Discuss funding from the Riverheads Infrastructure for South Augusta ballfield improvements.

Funding Source: Riverheads Infrastructure 8015-85
Light Repair \$1,344.00
Sound Panels for meeting room \$2,610.00
- S/B-14 **ORDINANCE COMMITTEE (SEE ATTACHED)**
Discuss Ordinance Committee recommendation for amendments to the Noise Control ordinance for public hearing.
- S/B-15 **PLANNING COMMISSION/PUBLIC HEARINGS (SEE ATTACHED)**
1) Discuss a request to rezone from Single Family Residential 10 to General Agriculture approximately 10.5 acres (TMP 85-121) owned by Jason A. and Kimberly D. Almarode and Dylan R. Campbell. The Planning Commission recommends denial.
2) Discuss the Planning Commission approved Stuarts Draft Area Plan.
- S/B-16 **WAIVERS**
- S/B-17 **MATTERS TO BE PRESENTED BY THE BOARD**
- S/B-18 **MATTERS TO BE PRESENTED BY STAFF**
- S/B-19 **CLOSED SESSION (SEE ATTACHED)**

**VDOT Report
February 24, 2020**

Mr. Wells (Beverly Manor)

- **Interstate 81 – Process underway to select a design consultant for third lane widening from Exit 220 to Exit 225. Design to begin this summer.**
- **RTE 612 (Laurel Hill Rd) – Verona Pedestrian Improvement Sidewalk Project Citizen Information Meeting was held on November 14th.**
- **RTE 612 (Laurel Hill Rd) – radius repairs at intersections along I-81 area will be scheduled at a later date.**
- **RTE 1401 (Jolivue Subdivision) - Pipe replacements has been completed. Roadway scheduled for cape seal resurfacing in the Spring.**
- **RTE 790 (W. Ambler Rd) - Boom axe operations has been completed.**
- **RTE 254 (Hermitage Rd) - Shoulder and pothole repairs have been completed.**

Mr. Slaven (North River)

- **RTE 756 (Fairburn Rd) - slope improvements and drainage repairs have begun and will be completed as weather permits.**
- **RTE 910 (Wampler Rd) - Rural Rustic project drainage improvements have been completed with final surface treatment to be applied in the Spring 2020**
- **RTE 732 (Middle River Rd.) - Slope repairs have been reviewed and will be scheduled as weather permits**
- **RTE 732 (Roman Rd) – Pothole repairs are planned and should be completed as weather permits.**
- **RTE 835 (Hotchkiss Rd) – Ditch line repairs and clean-out have begun and will be completed as weather permits.**
- **RTE 756 (Fairburn Rd) - additional drainage pipe repairs/ replacement has been scheduled for April or the first part of May**
- **RTE 728 (Stover Shop Rd) -10' by 12' box culvert scheduled for replacement this spring.**
- **RTE 759 (Oak Hill School Rd) - concrete slab replacements are scheduled for this spring as weather permits.**
- **Grading and placing stone on non-hard surface roads as weather permits.**

Mrs. Carter (Pastures)

- **RTE 250 (Churchville Hwy) – Bell Creek Bridge Replacement near Jake’s Store to begin this spring. Project will replace a deteriorating bridge and enhance safety by including two 12-foot travel lanes and 10-foot shoulders.**
- **RTE 254 (Parkersburg Turnpike) – Deer Crossing signs have been installed in high deer crash area.**
- **RTE 254 (Parkersburg Turnpike) – Safety improvement project for a length of 5.8 miles from Buffalo Gap Store to RTE 612 (Frog Pond Road) to include pavement widening, guardrail replacement, and rumble strips. Contract advertised January 2020, construction anticipated this spring/summer.**
- **RTE 833 (Trinity Point Rd) – Speed study being conducted on Trinity Point Rd between Rt 254 and Rt 720 (Morris Mill Rd). The road does not currently have a posted speed limit.**
- **RTE 250 (Shenandoah Mtn) - Crossline pipe replacement is scheduled to be completed by the end of March. Asphalt leveling and skin patching scheduled in April.**
- **RTE 250 (Churchville Hwy) - shoulder repairs are scheduled by the end of February as weather permits.**
- **RTE 806 (Boy Scout Ln) – Preliminary Engineering for Rural Rustic Project has been completed; tree removal will be completed by the end of March and construction will begin as weather permits.**
- **Grading and placing stone on non-hard surface roads as weather permits.**

Mr. Garber (Middle River)

- **RTE 775 (Craig Shop Rd) – Bridge over Middle River closed for emergency repairs. Bridge engineers continue to monitor and evaluate.**
- **RTE 340 (East Side Hwy) – Safety improvement project in development for a length of 6.9 miles from 0.3-mile north of RTE 612 at Crimora to RTE 861 (Teter Rd) just south of Grottoes. Project to include pavement widening, guardrail replacement, and rumble strips. Tentative advertisement date Fall 2020 with construction in 2021.**
- **RTE 775 (Craig Shop Rd) – Rural Rustic project - all cross pipes and brush removal has been completed. Will begin placing base stone as weather permits.**
- **RTE 775 (Craig Shop Rd) at the intersection of RTE 774 (Broad Run Rd) - large failing 24 CMP cross pipe has been replaced and 500 of linear ditchline has been completed.**
- **RTE 865 (Rockfish Rd) - Boom axe operations has been completed from RTE 612 to RTE 775.**
- **RTE 616 (Humbert Rd) – Boom axe operations have been completed.**
- **Grading and placing stone on non-hard surface roads are being addressed as needed.**

Dr. Seaton (Wayne)

- RTE 794 (Sangers Lane) – Drainage improvement and pipe installation plans have been prepared. Clearing and grubbing operations are underway and pipe installation will be scheduled as weather permits.
- RTE 782 (Bowers Rd) – Bridge wood deck and railing replacement has been completed.
- RTE 1366 (Hereford Rd) – Maintenance repairs will be scheduled as weather permits.
- RTE 611 (Dooms Crossing Rd) – Submitted request to Railroad Company for review of this crossing.
- RTE 640 (Goose Creek Rd) –Working with property owner's engineers regarding proposed expansion of church and related traffic impacts. A second entrance is proposed, which will help with traffic backups on Goose Creek Rd.
- RTE 642 (Barren Ridge Rd) –Extending roadway improvements to include ditching has been completed. Asphalt repairs and skin patching has been scheduled for the spring.
- RTE 611 (Dooms Rd) Asphalt scratching operations have been scheduled for the spring when temperatures allow.
- RTE 797 (Miller Rd) – Box culvert replacement scheduled as weather permits.
- Grading and placing stone on non-hard surface roads will continue as needed.

Mr. Morelli (South River)

- **RTE 634 (Patton Farm Rd) – VDOT to review potential improvement options for Low Water Structure over South River.**
- **RTE 340 (Stuarts Draft Hwy) – Review of right in right out entrance to Sheetz for additional advisory signage.**
- **RTE 610 (Howardsville Turnpike) – Continue to monitor drainage issues since completion of recent project.**
- **RTE 639 (Wayne Ave) – Existing conditions base map has been completed. A coordination meeting with the County will be scheduled to discuss improvement scenarios.**
- **RTE 913 (Dodge St) – Pipe replacement and asphalt scratching is scheduled for this spring.**
- **RTE 610 (Howardsville Turnpike) - Shoulder repairs have been completed.**
- **RTE 635 (Ramsey Rd) - Shoulder repairs have been completed.**
- **RTE 970 (Hall School Rd) - Shoulder repairs have been completed.**
- **RTE 635 (Kindig Rd) - Pipe replacement and asphalt scratching are scheduled as weather permits.**
- **RTE 634 (China Clay) - Asphalt scratching and skin patch repairs are scheduled for this spring as weather permits.**

Mr. Shull (Riverheads)

- **Love's Truck Stop – Roadway construction has been completed. New Love's Truck Stop has opened. Reviewing for additional truck directional signage.**
- **RTE 817 (Springleigh Rd) - Graded and stone base added.**
- **RTE 11 (Lee Jackson Hwy) – Schedule meeting to discuss revised pavement markings near RTE 666 for this year's pavement overlay.**
- **RTE 842 (Horseshoe Circle) - Replacement of 36" triple barrel pipe has been cleared by environmental and scheduled to be completed as weather permits.**
- **RTE 608 (Cold Springs Rd) – Asphalt scratching is continuing from the Rockbridge Co. line to Rt. 652 (Wilda Rd) as weather permits.**
- **RTE 710 (Mill Ln) - Rural Rustic project trees have been removed. All drainage pipes have been installed. Begin the placement of based stone as weather permits.**
- **RTE 654 (White Hill Rd) shoulder repairs have been completed**
- **Grading and placing stone on non-hard surface roads as weather permits.**

Economic Development

Monthly Board of Supervisors Report
February 2020

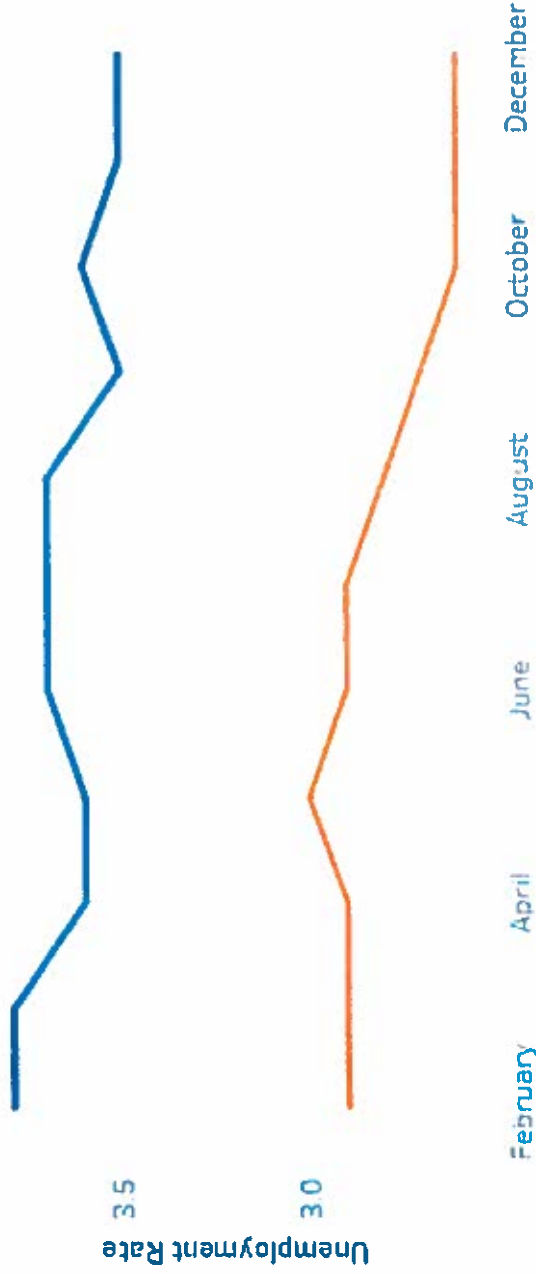
Unemployment Rate
Business Licenses Issued
Lead Generation
Mill Place Commerce Park
Economic Development Authority
Partner Agency Interaction
Shenandoah Valley Partnership
People of Augusta
Tourism Update
Marketing Initiatives & Special Projects



Unemployment Rate

United States Virginia

Seasonally Adjusted Unemployment Rate

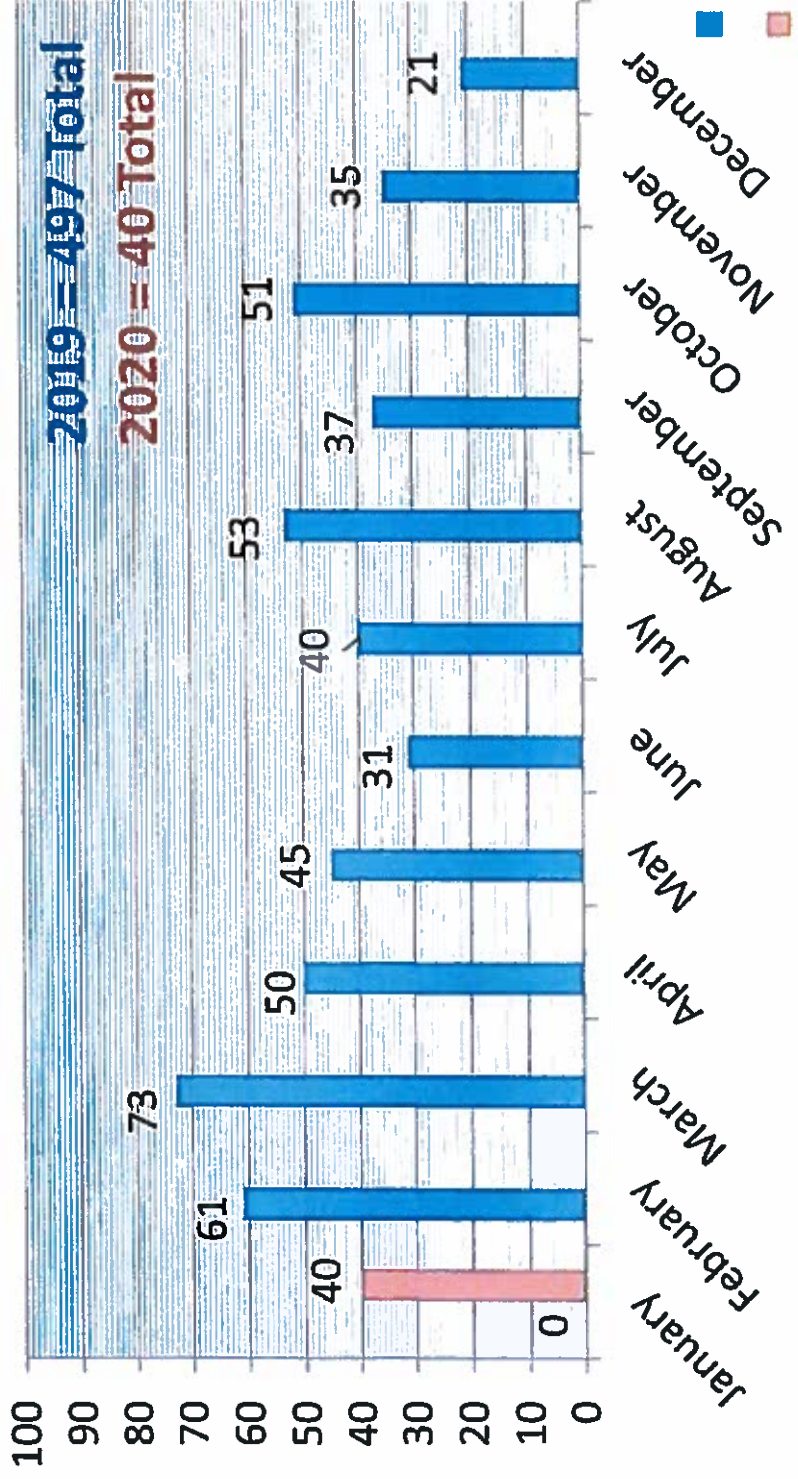


December 2.0%

Labor Force:
38,323
Employed:
37,560
Unemployed:
763



Business Licenses

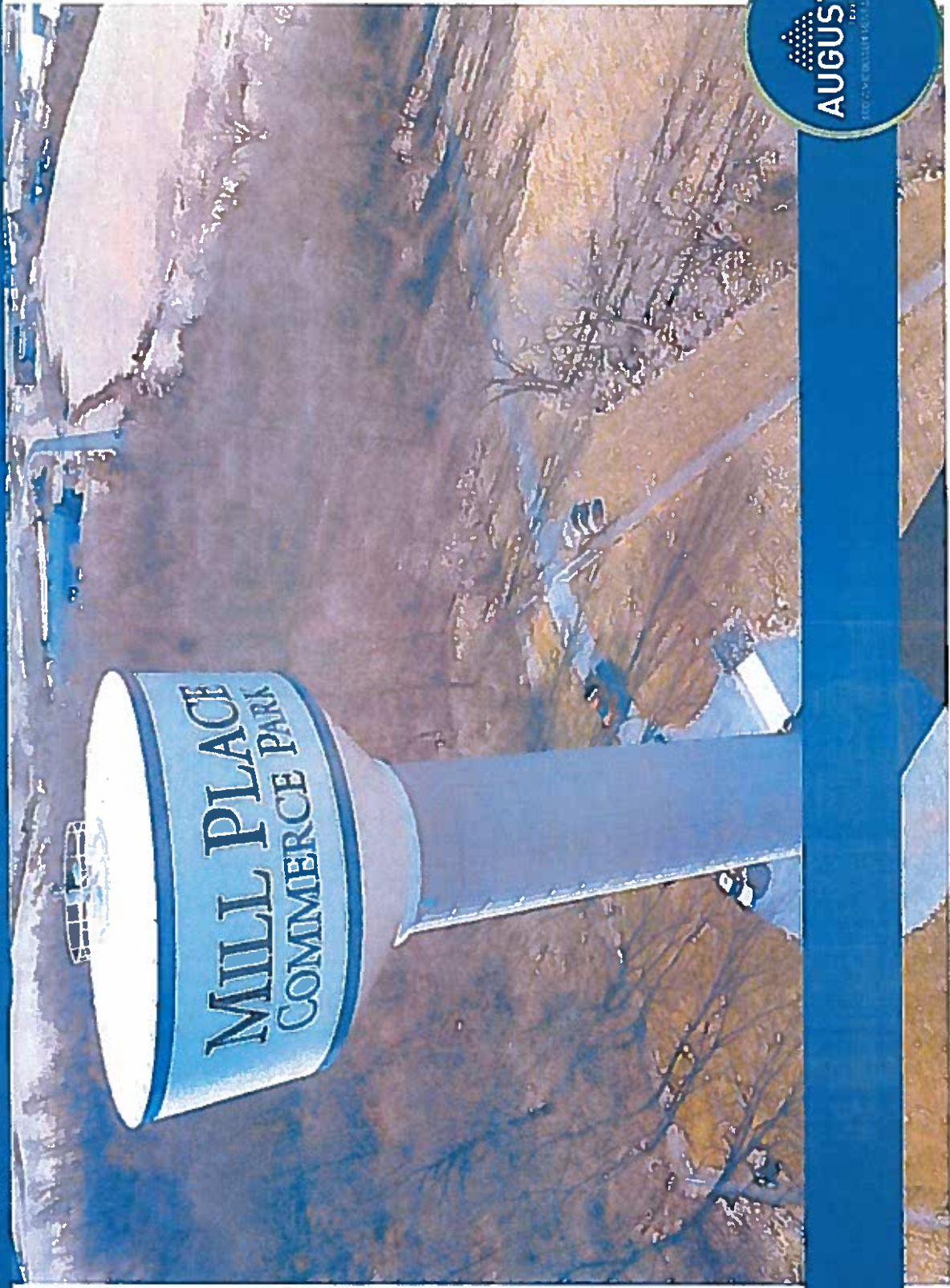


Lead Generation

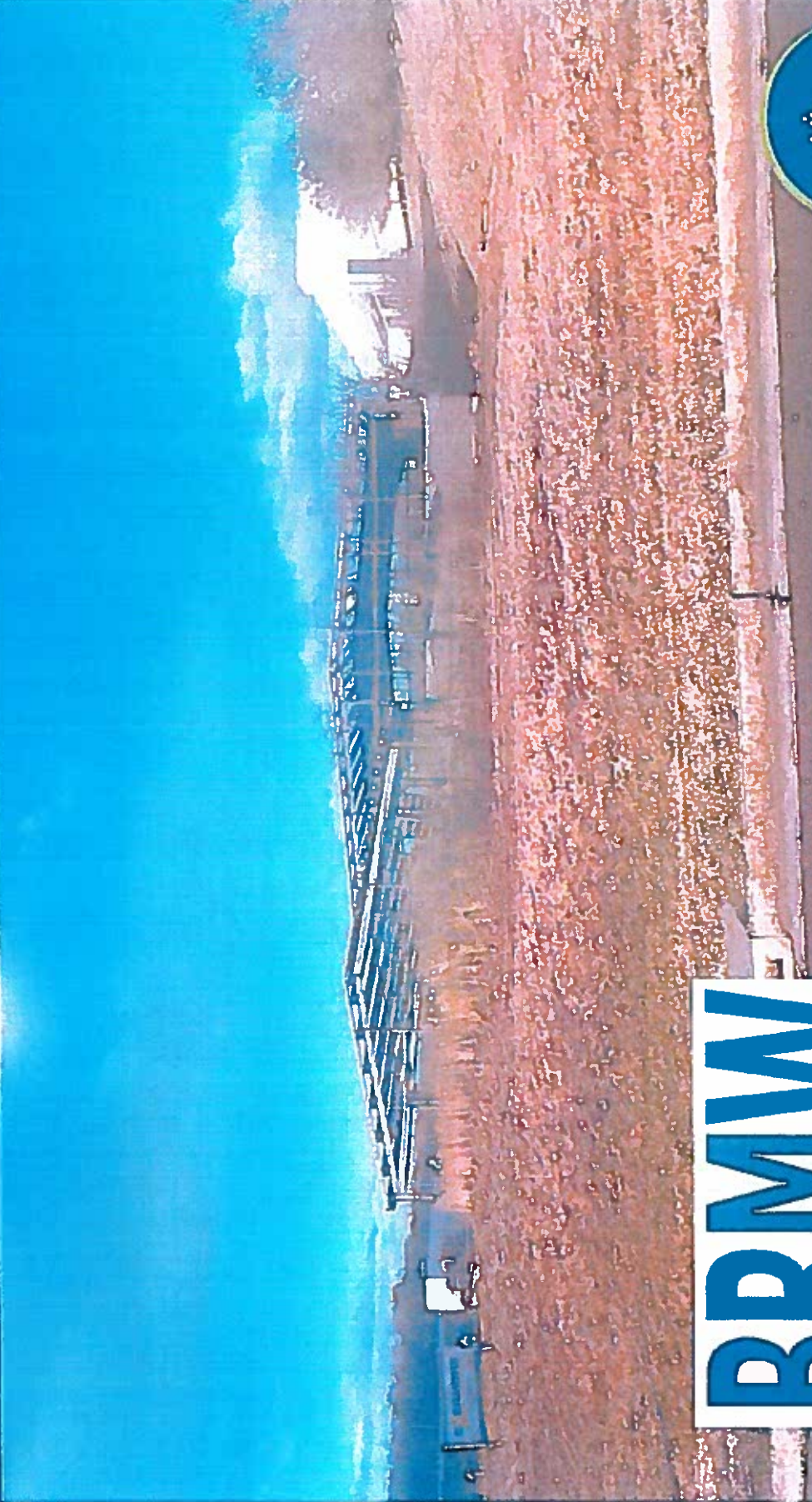
Lead Generation 2020			
	2020 YTD	2019 Total	
Travel Outreach			
Marketing Missions	3		6
Familiarization Tours	0		1
VEDP Staff Tours	0		2
Leads			
SVP & VEDP	4		5
Direct	1		9
Expansions	2		1
Prospect Visits			
SVP & VEDP Leads	0		2
Direct Leads	0		4
Expansions	1		1



Mill Place Commerce Park



Mill Place Commerce Park



BRMW
Blue Ridge Machine Works, Inc.



Economic Development Authority

Meets January, April, July, October – unless a special meeting is called

Last meeting: January 16, 2020

Next meeting: April 16, 2020 @ 11am

Remember to refer people to the
Augusta Small Business Loan Fund

The screenshot shows the website for Augusta Small Business Loans. At the top, it says "AUGUSTA SMALL BUSINESS LOANS". Below this, there are several sections of text and images. One section is titled "Smart Business" and describes the process of consulting with a professional to develop a business plan. Another section is titled "Smart Business Big Plans" and describes the process of consulting with a professional to develop a business plan. A third section is titled "Smart Business Loans" and describes the process of consulting with a professional to develop a business plan. At the bottom, there is a "LEARN MORE" button and a list of services: "1. Develop a business plan", "2. Complete a business plan", and "3. Secure your current or future business". The Augusta logo is in the bottom right corner.

Partner Agency Interaction

LifeCore Stakeholders Meeting 1/8

Chamber Leadership Greater Augusta Presentation 1/9

Fields of Gold 1/10

Chamber Industrial Roundtable - SupplyOne 1/22

GART

- VTC PR Meeting 1/14
- Beerwerks Retreat 1/22
- Monthly Meeting 1/23

Shenandoah Valley Tourism Partnership

- Monthly Meeting 1/2
- Advertising/Marketing Committee (1/15)



Shenandoah Valley Partnership



- theshenandoahvalley.com
- Marketing & Communications Sub-Committee 1/17
 - Completed 60-second site tour video project
- Lead Generation Committee 1/24
- Board of Directors 1/24



People of Augusta

Nominated in January for a Community Economic Development Award through the Virginia Economic Developers Association.



Tourism Update

- VA Agritourism Conference
March 30-April 1, Smithfield VA
- Offering scholarships to Augusta County Agritourism Operators
- Deadline to apply is March 13



Marketing Initiatives & Special Projects

Facebook Page

- 325 Page Likes, 382 Page Followers as of February '20

New Tourism Instagram page @visitaugustava

“The Current View” Electronic Monthly Newsletter

- List includes 314 names as of February '20
- 52% open rate for January newsletter

Upcoming:

- Quality of Life/Tourism Fulfillment piece
- “Base marketing” materials
- Local site readiness program





AUGUSTA COUNTY FIRE-RESCUE

County Government Center
18 Government Center Lane
P.O. Box 590, Verona, VA 24482

Main Office Line: (540) 245-5624 - Fax Line: (540) 245-5356
www.co.augusta.va.us

AUGUSTA COUNTY FIRE-RESCUE REPORT January 2020

- Fire Agency Dispatches 694 (477 Incidents)
- Rescue Agency Dispatches 984 (829 Incidents)
- Total Combined Dispatches 1678 (1306 Incidents)
- 47 Combined Dispatches Turned Over to Next Due Agencies, 26 due to being on another call

Chief Dave Nichols

- Staff worked to develop and present the Augusta County Fire-Rescue FY2020-21 Budget
- Continue to recruit and hire to fill vacancies – currently at 104 with 2 beginning 3/16/2020
- Monitor positive improvement regarding Stuarts Draft Rescue
- Staff will be meeting with Churchville Fire & Rescue to address their no-response rate
- Staff attending various fire & rescue recognition banquets

Lieutenant Minday Craun

- Fire-Rescue budget preparations/submission
- Coordinated multiple smoke alarm installations and answered questions
- Meetings – ACESOA, PLY Admin group
- Worked with social media planning group
- Insurance claims

Training Division – (Student hours)

- Spring EMT – 21 students (374 hours)
- EMT CE – 6 student (23 hours)
- CPR – 10 students (40 student hours)
- ACFR Volunteering Firefighter Academy – 27 students (988 hours)
- Fire Instructor I – 15 students (564 hours)
- Total Teaching Hours – 58

Division Commander Greg Schacht

- Worked on Strategic Plan and Fire-Rescue budget
- Responded to 3 DO calls, conducted 1 fire inspection, reviewed 1 rezoning request, and 3 site plans
- Attended Crisis Track Training, the tabletop exercise for Shenandoah Lake Dam, taught Instructor I
- Conducted Firefighter interviews
- Worked with the schools on Operation Warm

Division Commander Jeff Hurst

- Final inspection for New Engine 111 is 2/9/2020
- Apparatus “Annual Inspections” are continuing
- Working on SCBA contract renewal (Fire & Safety)
- Contact has been made with KME on customer service issues regarding Truck 11

EMERGENCY CALLS RECEIVED THROUGH EOC
MONTHLY REPORT FOR 2020

FIRE & RESCUE COMPANIES	January	February	March	April	May	June	July	August	September	October	November	December	Total Calls	% of Fires or Rescue Total	% of Combined Total	
	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls	Monthly Calls				
Scanton - SSI	15												15	2.16%	0.89%	
Scanton SS2	11												11	1.59%	0.66%	
1 Waynesboro	12												12	1.73%	0.72%	
2 Deerfield	8												8	1.15%	0.48%	
3 Middlebrook	15												15	2.16%	0.89%	
4 Churchville	28												28	4.03%	1.67%	
5 Weyers Cave	46												46	6.63%	2.74%	
6 Verma	71												71	10.23%	4.33%	
7 Stuarts Draft	45												45	6.48%	2.68%	
8 Craigsville	19												19	2.74%	1.13%	
9 Dooms	59												59	8.50%	3.52%	
10 Augusta County	115												115	16.57%	6.85%	
11 Preston L. Yancey	73												73	10.52%	4.35%	
12 Raphine	13												13	1.87%	0.77%	
14 Swinope	30												30	4.32%	1.79%	
15 Bridgewater	6												6	0.86%	0.36%	
17 Clover Hill	0												0	0.00%	0.00%	
18 New Hope	16												16	2.31%	0.95%	
19 Wilson	24												24	3.46%	1.43%	
20 Gintrees	15												15	2.16%	0.89%	
21 Mt. Solon	20												20	2.88%	1.19%	
23 Riverheads	39												39	5.62%	2.31%	
20 - Walkers Creek	1												1	0.14%	0.06%	
SV/BA	1												1	0.14%	0.06%	
Goshen	6												6	0.86%	0.36%	
South River	3												3	0.43%	0.18%	
Wintergreen	3												3	0.43%	0.18%	
R1 - W born First Aid	69												69	7.01%	4.11%	
R2 - Deerfield R.S.	12												12	1.23%	0.72%	
R4 - Churchville R.S.	76												76	7.72%	4.53%	
R5 - Scanton/Augusta R.S.	179												179	18.19%	10.67%	
R6 - Stuarts Draft R.S.	167												167	16.97%	9.95%	
*Special Events - Reserve Amb	0												0	0.00%	0.00%	
R11 - Preston L. Yancey	150												150	15.24%	8.94%	
R15 - Bridgewater R.S.	20												20	2.03%	1.19%	
R16 - Craig/Augusta Spr	37												37	3.76%	2.31%	
R18 - New Hope	61												61	6.20%	3.64%	
R20 - Grottoes R.S.	25												25	2.54%	1.49%	
R21 - Mt. Solon R.S.	31												31	3.15%	1.85%	
R25 - Riverheads	70												70	7.11%	4.17%	
R26 - Weyers Cave R.S.	82												82	8.33%	4.89%	
Augusta Health Transport	0												0	0.00%	0.00%	
Wintergreen	5												5	0.51%	0.30%	
FIRE TOTALS	694	0	0	0	0	0	0	0	0	0	0	0	694	41.36%		
RESCUE TOTALS	984	0	0	0	0	0	0	0	0	0	0	0	984	58.64%		
TOTAL EMERGENCY DISPATCHES	1678	0	0	0	0	0	0	0	0	0	0	0	1678	100.00%		
TOTAL EMERGENCY INCIDENTS	1306												1306			

CALLS TURNED OVER TO NEXT
DUE AGENCIES
MONTHLY REPORT FOR 2020

FIRE & RESCUE COMPANIES	TOTAL CALLS	January	February	March	April	May	June	July	August	September	October	November	December	Total CALLS TURNED OVER TO NEXT DUE AGENCIES	% of Total
		CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES	CALLS TURNED OVER TO NEXT DUE AGENCIES		
Stamton, SSI	11	0												0	0.0%
Stamton, SS2	11	0												0	0.0%
1 Weynesboro	12	0												0	0.0%
2 Deerfield	8	0												0	0.0%
3 Middlebrook	15	0												0	0.0%
4 Churchville	28	2												2	7.1%
5 Weyers Cave	46	0												0	0.0%
6 Verona	71	1												1	1.4%
7 Stuarts Heath	45	0												0	0.0%
8 Craigsville	19	0												0	0.0%
9 Doums	59	0												0	0.0%
10 Augusta County	115	5												5	4.3%
11 Preston L Yancy	71	0												0	0.0%
12 Raphine	13	1												1	7.7%
14 Swompe	30	1												1	3.3%
15 Bridgewater	6	0												0	0.0%
17 Clover Hill	0	0												0	0.0%
18 New Hope	16	1												1	6.3%
19 Wilson	24	3												3	12.5%
20 Grimes	15	0												0	0.0%
21 Mt. Solon	20	0												0	0.0%
25 Riverheads	39	0												0	0.0%
30 Walkers Creek	1	1												1	100.0%
SVRA	1	0												0	0.0%
Croshen	6	0												0	0.0%
South River	1	0												0	0.0%
Windergreen	1	0												0	0.0%
R1 W hons First Aid	69	0												0	0.0%
R2 Deerfield R.S.	12	0												0	0.0%
R4 Churchville R.S.	76	6												6	7.9%
R5 Staunton/Augusta R.S.	179	4												4	2.2%
R6 Stuarts Heath R.S.	167	3												3	1.8%
Special Events Reserve Amh	0	0												0	#DIV/0!
R11 Preston L. Yancy	150	1												1	0.7%
R15 Bridgewater R.S.	20	2												2	10.0%
R16 Craig/Augusta Spr	37	0												0	0.0%
R18 New Hope	61	4												4	6.6%
R20 Grimes R.S.	25	0												0	0.0%
R21 Mt. Solon R.S.	31	1												1	3.2%
R24 Riverheads R.S.	70	5												5	7.1%
R26 Weyers Cave R.S.	82	6												6	7.3%
Augusta Health Transport	0	0												0	0.0%
Windergreen	5	1												1	20.0%
FIRE TOTALS	694	15	0	0	0	0	0	0	0	0	0	0	0	15	2.2%
RESCUE TOTALS	984	32	0	0	0	0	0	0	0	0	0	0	0	32	3.3%
TOTAL CALLS TO EXCEED OVER BUDGET	1,678	47	0	0	0	0	0	0	0	0	0	0	0	47	2.8%

January 2020 Calls Turned Over to Next Due Agencies

COMPANY	DATE	LOCATION	REASON FOR NEXT DUE RESPONSE
C10	1/8/2020 7:25:26 PM	VALLEY CENTER DRIVE	ON ANOTHER CALL
C10	1/14/2020 12:00:38 PM	164 W/1 81 N	ON ANOTHER CALL
C10	1/14/2020 12:51:42 PM	BALSLEY RD	ON ANOTHER CALL
C10	1/15/2020 3:28:16 PM	JEFFERSON HWY	ENGINE 254 NO RESPONSE/4 PERSONNEL RESPONDED SOD2
C10	1/24/2020 11:18:14 PM	FRONTIER RIDGE COURT	ON ANOTHER CALL
C12	1/27/2020 10:42:28 AM	ALMO CHAPEL RD	NOT ON ANY OTHER AUGUSTA COUNTY CALL
C14	1/8/2020 6:41:24 PM	THREE NOTCHED MOUNTAIN HWY	NOT ON ANY OTHER CALL
C18	1/7/2020 12:06:02 PM	LAUREL HILL RD	C18 NOT ON ANY OTHER CALL/R18 ON THIS CALL
C19	1/14/2020 11:24:03 AM	LADD RD	NOT ON ANY OTHER CALL
C19	1/28/2020 10:22:59 AM	MOUNT TORREY RD	NOT ON ANY OTHER CALL
C19	1/28/2020 3:46:13 PM	MOUNT TORREY RD	NOT ON ANY OTHER CALL
C4	1/25/2020 2:09:00 AM	NORTH RIVER RD	NOT ON ANY OTHER CALL
C4	1/25/2020 11:54:51 PM	TALIAFERRO DR	C4 NOT ON ANY OTHER CALL/R4 ON THIS CALL
C6	1/3/2020 4:14:18 AM	2310 I 81 N	NOT ON ANY OTHER CALL
C60	1/2/2020 9:17:54 AM	KOGLER LN	NOT ON ANY OTHER AUGUSTA COUNTY CALL
R11	1/16/2020 9:22:05 AM	SILVER MAPLE CV	ON ANOTHER CALL
R15	1/25/2020 1:38:06 AM	NORTH RIVER RD	NOT ON ANY OTHER AUGUSTA COUNTY CALL
R15	1/27/2020 1:56:14 PM	NATURAL CHIMNEYS RD	NOT ON ANY OTHER AUGUSTA COUNTY CALL
R18	1/1/2020 7:44:52 PM	OAKLAND CIR	ON ANOTHER CALL
R18	1/12/2020 12:17:15 PM	PINBALL LN	R18 NOT ON ANY OTHER CALL/C18 ON THIS CALL
R18	1/24/2020 8:32:37 PM	HILDEBRAND CHURCH RD	ON ANOTHER CALL
R18	1/29/2020 4:42:31 PM	HUMBERT RD	ON ANOTHER CALL
R21	1/12/2020 7:43:46 PM	NORTH RIVER RD	ON ANOTHER CALL
R25	1/2/2020 9:58:41 AM	KOGLER LN	ON ANOTHER CALL
R25	1/4/2020 2:28:11 PM	SPITLER CIR	ON ANOTHER CALL
R25	1/6/2020 6:17:35 PM	SPRING CREST LN	ON ANOTHER CALL
R25	1/6/2020 6:18:24 PM	OLD SANDBANK LN	ON ANOTHER CALL
R25	1/17/2020 9:38:25 AM	GREENVILLE SCHOOL RD	ON ANOTHER CALL
R26	1/7/2020 12:32:16 PM	KEEZLETOWN RD/CHAPEL HILL LN	ON ANOTHER CALL
R26	1/7/2020 1:01:09 PM	LEE HWY/OLD STONE CHURCH LN	ON ANOTHER CALL
R26	1/7/2020 2:04:45 PM	KEEZLETOWN RD	ON ANOTHER CALL
R26	1/16/2020 10:12:56 AM	BLACKROCK RD/WINEGUARD RD	ON ANOTHER CALL
R26	1/24/2020 12:03:22 PM	2350 I 81 S	ON ANOTHER CALL
R26	1/29/2020 3:09:45 PM	CRAIG SHOP RD	ON ANOTHER CALL
R4	1/6/2020 2:52:12 AM	MORRIS MILL RD	NOT ON ANY OTHER CALL
R4	1/7/2020 9:14:07 PM	VINEGAR HILL RD	R4 NOT ON ANY OTHER CALL/C4 ON THIS CALL
R4	1/21/2020 4:02:54 PM	PARKERSBURG TPKE	R4 NOT ON ANY OTHER CALL/C4 ON THIS CALL
R4	1/22/2020 8:13:49 AM	VIRGINIA DR	ON ANOTHER CALL
R4	1/29/2020 9:59:04 PM	GALENA RD	NOT ON ANY OTHER CALL
R4	1/30/2020 11:32:35 PM	HANKEY MOUNTAIN HWY	NOT ON ANY OTHER CALL
R5	1/16/2020 8:24:22 AM	LEE HWY	ON ANOTHER CALL
R5	1/16/2020 8:48:13 AM	SHUTTERLEE MILL LN	ON ANOTHER CALL
R5	1/24/2020 11:27:48 PM	2175 I 81 N	RESPONDED WITH 1
R5	1/29/2020 1:05:42 PM	BARTERBROOK RD	ON ANOTHER CALL
R6	1/17/2020 5:26:52 AM	MT VERNON RD	ON ANOTHER CALL
R6	1/27/2020 9:11:42 AM	AUGUSTA FARMS RD	ON ANOTHER CALL
WINT	1/21/2020 2:44:26 PM	187 RIDGE DR	WINT NOT ON ANY OTHER CALL/WFD ON THIS CALL

Weekend	6
6 a - 6 p	27
6 p - 6 a	14
Combinded Total	47

CAREER CALLS ANSWERED
2020 FIGURES

CAREER	NAME	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC	CAREER		AGENCY		TOTAL CAREER %
														YEARLY TOTAL	YEARLY TOTAL	YEARLY TOTAL	YEARLY TOTAL	
CO-11	Preston L. Yancey Fire	73												73	73			100.00%
CO-11	City of Waynesboro	4												4				5.48%
R-11	Preston L. Yancey Rescue	148												148	148			38.67%
R-11	City of Waynesboro	0												0				0.00%
CO-18	New Hope Fire	8												8	8			50.00%
CO-18	Extended Run Area	0												0				0.00%
CO-18	City of Waynesboro	0												0				0.00%
CO-18	City of Staunton	0												0				0.00%
R-18	New Hope Rescue	55												55	55			90.16%
R-18	Extended Run Area	2												2				3.64%
R-18	City of Waynesboro	0												0				0.00%
R-18	City of Staunton	0												0				0.00%
R-6	Stuarts Draft Rescue	62												62	62			37.13%
R-6	City of Staunton	0												0				0.00%
R-6	City of Waynesboro	0												0				0.00%
R-6	Extended Run Area	0												0				0.00%
R-16	Crallsville-Augusta Springs	37												37	37			100.00%
R-16	Rockbridge County	1												1				2.70%
CO-9	Dooms Fire	30												30	30			50.83%
CO-9	City of Waynesboro	5												5				16.67%
CO-6	Verona Fire	36												36	36			50.70%
CO-6	City of Staunton	1												1				2.78%
CO-3	Middlebrook	7												7	7			46.67%
CO-3	Extended Run Area	0												0				0.00%
CO-2	Derrfield Fire	5												5	5			62.50%
CO-2	Highland County	0												0				0.00%
CO-2	Extended Run Area	0												0				0.00%

FIGURES REPRESENT CALLS DURING HOURS CALLER ARE ASSIGNED TO STATIONS
2020 FIGURES

CAREER	NAME	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC	YEARLY TOTAL
CO-11	Preston L. Yancey Fire	73	0	0	0	0	0	0	0	0	0	0	0	73
	Call Turned Over/Cancelled Prior to Response/Standby	0												0
	Career Only	69												69
	Career and Volunteer	5												5
	Volunteer Only	0												0
RES-11	Rescue 11	150	0	0	0	0	0	0	0	0	0	0	0	150
	Call Turned Over/Cancelled Prior to Response/Standby	2												2
	Career Only	148												148
	Career and Volunteer	0												0
	Volunteer Only	0												0
CO-1H	New Hope Fire	18	0	0	0	0	0	0	0	0	0	0	0	18
	Call Turned Over/Cancelled Prior to Response/Standby	1												1
	Career Only	4												4
	Career and Volunteer	4												4
	Volunteer Only	7												7
RES-1R	New Hope Rescue	61	0	0	0	0	0	0	0	0	0	0	0	61
	Call Turned Over/Cancelled Prior to Response/Standby	6												6
	Career Only	55												55
	Career and Volunteer	0												0
	Volunteer Only	0												0
RES-6	Stuarts Draft Rescue	73	0	0	0	0	0	0	0	0	0	0	0	73
	Call Turned Over/Cancelled Prior to Response/Standby	1												1
	Career Only	53												53
	Career and Volunteer	7												7
	Volunteer Only	10												10
RES-16	Cragville-Augusta Springs	17	0	0	0	0	0	0	0	0	0	0	0	17
	Call Turned Over/Cancelled Prior to Response/Standby	0												0
	Career Only	17												17
	Career and Volunteer	0												0
	Volunteer Only	0												0
CO-9	Booms Fire	12	0	0	0	0	0	0	0	0	0	0	0	12
	Call Turned Over/Cancelled Prior to Response/Standby	1												1
	Career Only	4												4
	Career and Volunteer	26												26
	Volunteer Only	4												4
CO-6	Verona Fire	18	0	0	0	0	0	0	0	0	0	0	0	18
	Call Turned Over/Cancelled Prior to Response/Standby	0												0
	Career Only	25												25
	Career and Volunteer	11												11
	Volunteer Only	2												2
CO-1	Middlebrook Fire	7	0	0	0	0	0	0	0	0	0	0	0	7
	Call Turned Over/Cancelled Prior to Response/Standby	0												0
	Career Only	7												7
	Career and Volunteer	4												4
	Volunteer Only	0												0
CO-2	Deerfield Fire Department	8	0	0	0	0	0	0	0	0	0	0	0	8
	Call Turned Over/Cancelled Prior to Response/On Rescue	0												0
	Career Only	0												0
	Career and Volunteer	5												5
	Volunteer Only	3												3
RES-7	Deerfield Rescue Squad	12	0	0	0	0	0	0	0	0	0	0	0	12
	Call Turned Over/Cancelled Prior to Response/Standby	0												0
	Career Only	10												10
	Career and Volunteer	2												2
	Volunteer Only	0												0
CO-4	Churchville Fire Department	15	0	0	0	0	0	0	0	0	0	0	0	15
	Call Turned Over/Cancelled Prior to Response/On Rescue	0												0
	Career Only	4												4
	Career and Volunteer	7												7
	Volunteer Only	4												4
RES-4	Churchville Rescue Squad	32	0	0	0	0	0	0	0	0	0	0	0	32
	Call Turned Over/Cancelled Prior to Response/Standby	3												3
	Career Only	24												24
	Career and Volunteer	2												2
	Volunteer Only	1												1
CO-10	Augusta County	119	0	0	0	0	0	0	0	0	0	0	0	119
	Call Turned Over/Cancelled Prior to Response/Standby	5												5
	Career Only	101												101
	Career and Volunteer	9												9
	Volunteer Only	0												0
CO-21	Mount Solon Fire Department	8	0	0	0	0	0	0	0	0	0	0	0	8
	Call Turned Over/Cancelled Prior to Response/On Rescue	0												0
	Career Only	0												0
	Career and Volunteer	7												7
	Volunteer Only	1												1
RES-21	Mount Solon Rescue Squad	12	0	0	0	0	0	0	0	0	0	0	0	12
	Call Turned Over/Cancelled Prior to Response/Standby	1												1
	Career Only	6												6
	Career and Volunteer	3												3
	Volunteer Only	2												2
RES-25	Riverbend Rescue	70	0	0	0	0	0	0	0	0	0	0	0	70
	Call Turned Over/Cancelled Prior to Response/Standby	5												5
	Career Only	62												62
	Career and Volunteer	3												3
	Volunteer Only	0												0
RES-26	Weyers Cave Rescue	82	0	0	0	0	0	0	0	0	0	0	0	82
	Call Turned Over/Cancelled Prior to Response/Standby	6												6
	Career Only	76												76
	Career and Volunteer	0												0
	Volunteer Only	0												0

YTD TOTAL OF CALLS DURING HOURS CAREER ARE ASSIGNED TO STATIONS

841



LIBRARY

FY 2019 ANNUAL REPORT

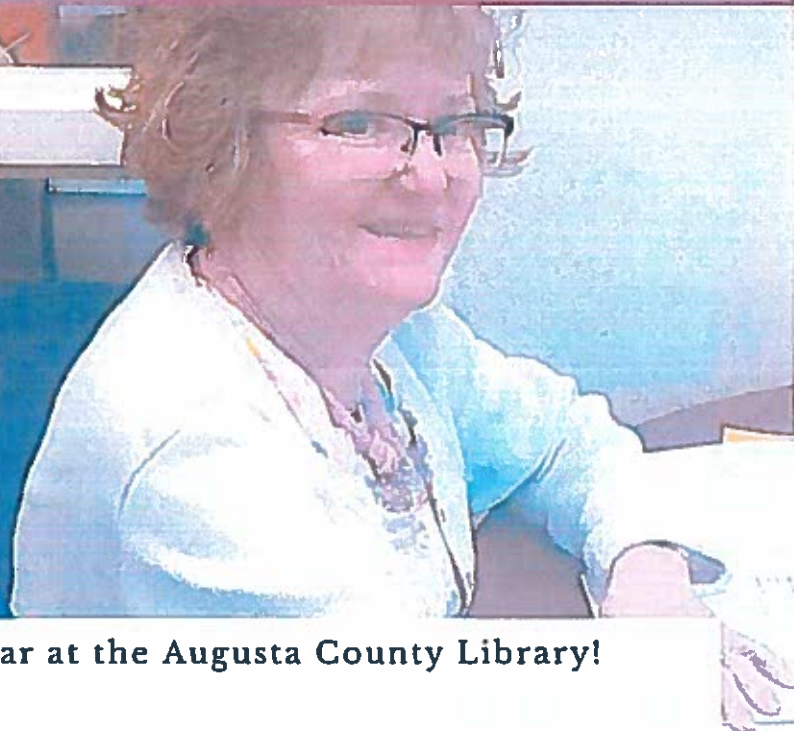
DIRECTOR

Diantha McCauley



AUGUSTA COUNTY
LIBRARY

FROM THE DIRECTOR



Thank you for another great year at the Augusta County Library!

Patrons enthusiastically welcomed another day of service when we opened on Thursdays at Stuarts Draft and Fridays at Churchville. Checkouts and program numbers increased at both locations. We added StoryWalks® to the Fishersville and Churchville libraries with plans underway to build a third at the Stuarts Draft Park. This has been another fun collaboration with Augusta County Parks and Recreation. And speaking of collaborations with Parks and Rec, we were pleased to have received the Virginia Public Library Directors Association Award for our Activities Guide.

As the year drew to a close, staff was busy experimenting with new offerings—a 3-D printer and virtual reality headsets.

Please join me in welcoming three new staff members: Mary Campbell, Allegra Morrison, and Matt Frenger. They are hard at work with the rest of the ACL team in planning another busy and productive year for you.

Diantha McCauley,
Director

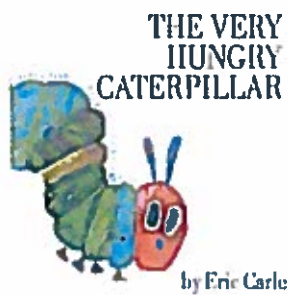


MOST POPULAR IN FY2019:

EASY READER



EASY FICTION



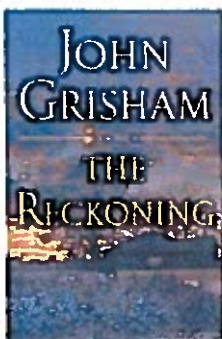
JUVENILE FICTION



YA FICTION



ADULT FICTION



ADULT NON-FICTION



MOVIE





NEW SERVICES

- Fast Traxx DVDs
- Storywalks® in Fishersville and Churchville
- Cake Pan Collection for checkout
- Augusta County Genealogical Society now included in the catalog
- 3-D printing
- Oculus View Virtual Reality devices

SUCCESSFUL PROGRAMS

- Joint Valley Libraries Summer Reading Program
- Redbeard Readers Book Club
- Library Trivia at Seven Arrows Brewing Company
- Escape Rooms
- Makerspaces
- Youth Art Month Displays
- Teen Laser Tag

OUTREACH & PARTNERSHIPS

- North Augusta Farmers Market: Monthly table
- Staunton Pride Day: Pop-up library
- Senior Health Fair: Library table

STAFF

- Charley Schillinger and ACL Children's Department: Received County Administrator's Merit Award
- Tara Wall: Attending University of North Texas Masters of Library & Information Science program
- Allegra Morrison: Accepted into new Old Dominion University Masters of Library & Information Science program

Branch & Station Highlights

CHURCHVILLE

- Makerspace Programs
- StoryWalk® with Churchville Elementary School
- Yearbook Scanning Project

CRAIGSVILLE

- Summer Read & Feed Program
- Craigsville Readers Book Club
- Ladies' Night Craft programs

DEERFIELD

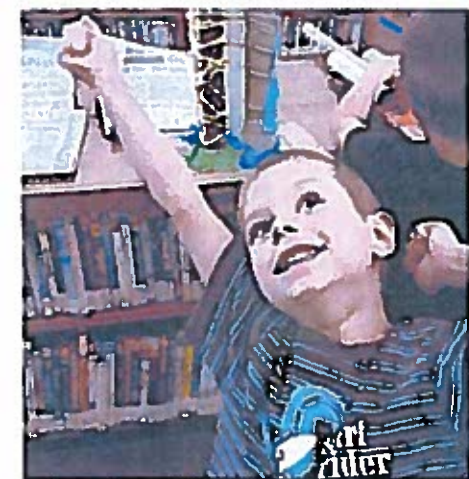
- Jean Kelley memorial benches
- Teen Time program in fall and winter
- Annual book, plant & bake sale

MIDDLEBROOK

- Ali McCue named manager
- 10th anniversary celebration
- Seed Swap
- Additional children's programs

STUARTS DRAFT

- Added puzzles and music CDs
- Storytimes and other children's programs
- Annual Stuarts Draft history celebration
- Donation of art hanging system from the Ruritans
- 1st anniversary celebration



BY THE NUMBERS

14% ↑

Patron Count

16.6% ↑

Number of Programs

58.9% ↑

Program Attendance

25% ↑

Wi-Fi Usage

9.8% ↑

Holds Requested

+ 832

Additional Operating Hours

One extra day per week in Churchville

One extra day per week in Stuarts Draft

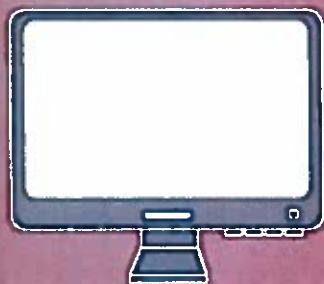
ACL TECHNOLOGY

Find It
Virginia
Resources



Online Consumer Reports

Downloadable E-Books,
Audiobooks, Magazines & More



Printing, Copying, Faxing,
Scanning, & 3D Printing

Public Computers & Wi-Fi

One-on-One Book-a-Librarian
Sessions

Virtual Reality Headsets





ACL LOCATIONS

Churchville
 Craigsville
 Deerfield
 Fishersville
 Middlebrook
 Stuarts Draft

LIBRARY BOARD OF TRUSTEES

Bryette Covington, Beverley Manor
 Melody Puffenbarger, Middle River
 Betsy Curry, North River
 Lynn R. Mitchell, Pastures
 Carol Turrentine, Riverheads
 Doran L. Stegura, South River
 James Stewart II, Wayne
 Pam Carter, Board of Supervisors

BOARD OF SUPERVISORS

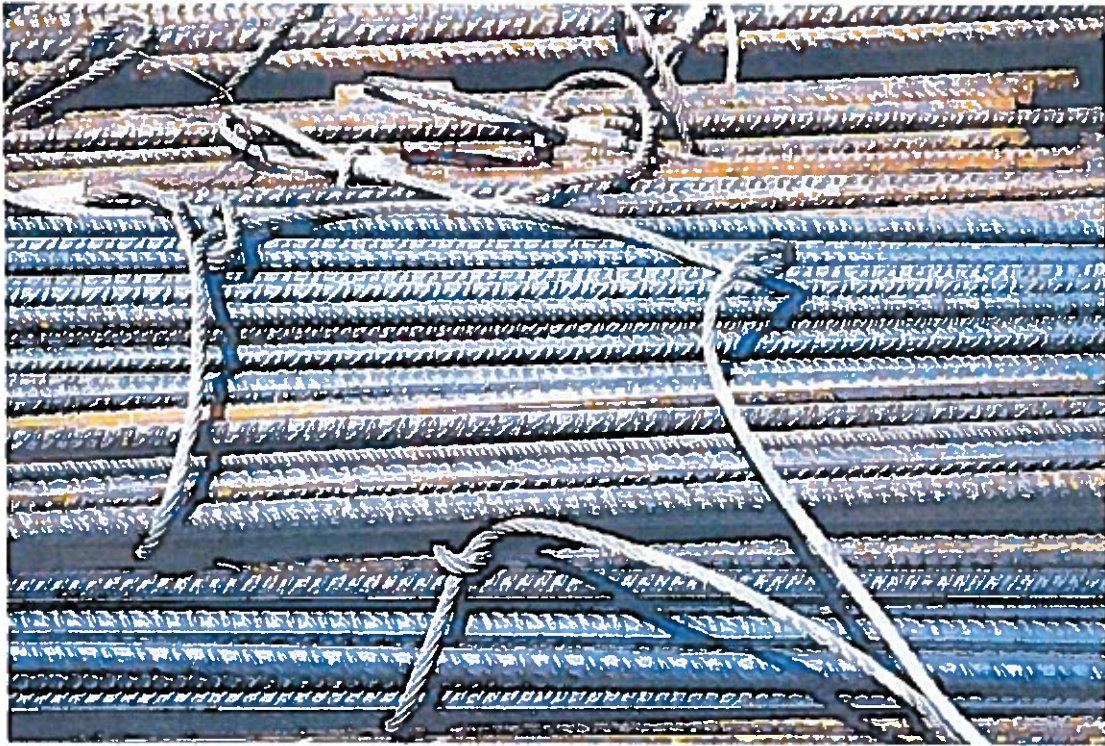
G.L. "Butch" Wells, Beverley Manor
 Gerald Garber, Middle River
 Marshall W. Pattie, North River
 Pam Carter, Pastures
 Michael L. Shull, Riverheads
 Carolyn S. Bragg, South River
 Wendell L. Coleman, Wayne
 Timothy K. Fitzgerald, County Administrator

FRIENDS OF THE AUGUSTA COUNTY LIBRARY

David Whitcomb, President
 Amy Skretta, Vice President
 Oakley Pearson, Treasurer
 Catherine Morris, Corresponding Secretary
 Jeanne Pitsenberger, Financial Secretary
 Ruthie Snyder, Recording Secretary
 Candida Clark, Membership Chair
 Helen Chew, Landscaping Committee Chair
 Carol Turrentine, Library Board Liaison
 Claire Covington, At Large

COUNTY OF AUGUSTA

BUILDING INSPECTION DEPARTMENT



2019
ANNUAL REPORT

FOUR-YEAR SUMMARY OF PERMIT ACTIVITY

	2016	2017	2018	2019
<u>BUILDING DIVISION</u>				
No. Bldg. Permits Issued	826	907	779	825
Value New Construction	\$91,824,173	\$61,727,525	\$75,291,538	\$94,793,394
Value Alteration/Repair	\$19,782,818	\$42,171,550	\$24,534,188	\$57,611,712
Fees Collected	\$162,731.40	\$191,212.90	\$164,319.20	\$213,433.33
Total No. of Inspections	2,946	3,283	2,615	2,742
Miles Traveled	25,030	25,326	28,868	25,238
<u>ELECTRICAL DIVISION</u>				
No. Elec. Permits Issued	821	894	840	933
Value of Elec. Work	\$8,026,560	\$9,200,960	\$9,886,153	\$16,444,305
Fees Collected	\$51,587.68	\$64,721.86	\$51,588.96	\$65,680.17
Total No. of Inspections	1,886	2,120	1,731	1,946
Miles Traveled	16,571	16,514	19,573	18,305
<u>PLUMBING DIVISION</u>				
No. Plum. Permits Issued	436	510	433	459
Value of Plumbing Work	\$3,498,912	\$4,833,443	\$4,531,060	\$8,190,553
Fees Collected	\$30,248.35	\$40,057.70	\$34,889.10	\$45,497.10
Total No. of Inspections	1,376	1,596	1,259	1,409
Miles Traveled	11,670	11,619	13,242	13,026
<u>MECHANICAL DIVISION</u>				
No. Mech. Permits Issued	629	747	629	730
Value of Mech. Work	\$9,561,430	\$7,671,060	\$4,481,341	\$11,291,434
Fees Collected	\$31,003.13	\$43,683.76	\$32,796.79	\$43,386.12
Total No. of Inspections	1,231	1,395	1,173	1,264
Miles Traveled	10,506	10,436	12,526	11,158
<u>MANUFACTURED HOMES</u>				
No. MH Permits Issued	62	65	60	55
Value of Homes	\$2,594,882	\$3,012,347	\$2,647,401	\$3,739,521
Fees Collected	\$4,513.50	\$4,972.50	\$4,513.50	\$4,207.50
Total No. of Inspections	167	199	165	104
Miles Traveled	1,246	1,291	1,789	981
<u>SUMMARY</u>				
Total Permits Issued	2,774	3,123	2,741	3,002
Value of All Permits	\$135,288,775	\$128,616,885	\$121,371,681	\$192,070,919
Total Fees Collected	\$280,084.06	\$344,648.72	\$288,107.55	\$372,204.22
Total No. of Inspections	7,606	8,593	6,943	7,465
Total Miles Traveled	65,023	65,186	75,998	68,708
NON TAXABLE CONST.	\$38,364,241	\$2,522,969	\$4,609,422	\$1,419,221
<u>EROSION & SEDIMENT CONTROL</u>				
Total Permits Issued	203	182	152	166
Total No. of Inspections	575	611	386	272
Miles Traveled	4,332	4,145	3,296	2,041

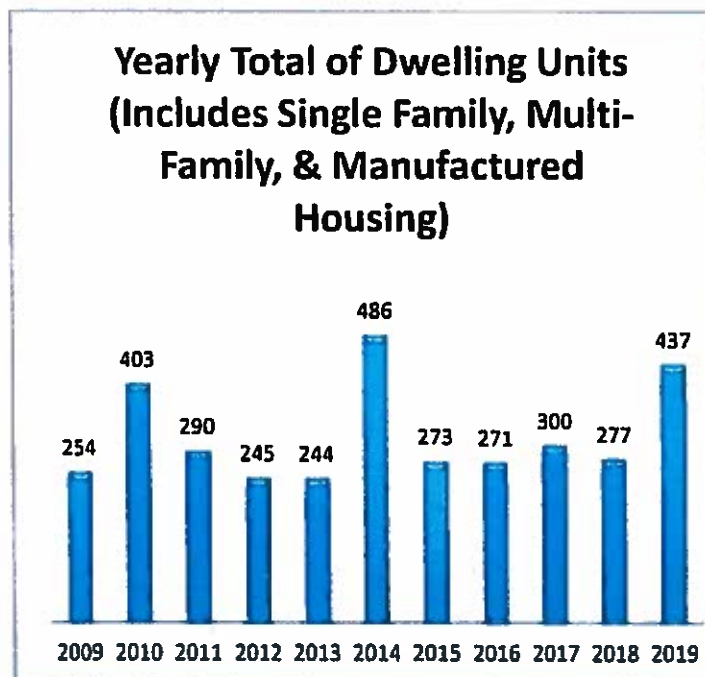
HOUSING UNITS 2019

	NO.	VALUE
SINGLE FAMILY DWELLINGS	163	\$38,200,730
MULTI-FAMILY UNITS	219	\$25,016,000
MANUFACTURED HOME UNITS	55	\$3,739,521
TOTAL ALL DWELLING UNITS	437	\$66,956,251

The number of single family dwelling permits increased from last year's total with 11 more units in 2019. The average value per dwelling increased by \$10,000. The average square footage also increased from 2,046 square feet in 2018 to 2,073 square feet in 2019.

Multi-family showed an increase as well, with 219 units as compared to 65 units in 2018, however the average value decreased by \$11,000. The average square footage was 1,309 for 2019.

Manufactured homes permits decreased in 2019, with 5 less units than 2018. The average value per unit increased by \$23,868.

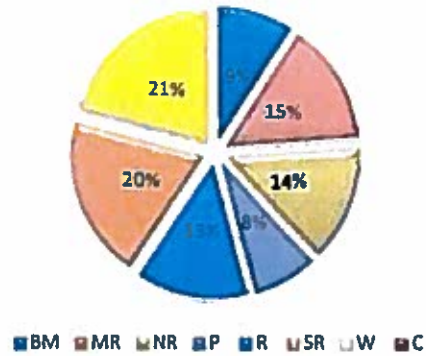




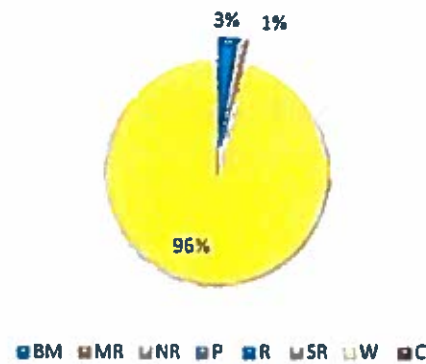
Housing Units By District 2013 - 2019

SINGLE FAMILY	2013	2014	2015	2016	2017	2018	2019	TOTALS
BEVERLEY MANOR	7	14	15	12	12	11	15	86
MIDDLE RIVER	19	21	28	21	21	19	24	153
NORTH RIVER	23	20	24	16	23	18	23	147
PASTURES	16	11	15	15	24	15	13	109
RIVERHEADS	35	45	34	40	42	38	22	256
SOUTH RIVER	20	28	26	28	34	32	32	200
WAYNE	26	28	22	31	11	19	34	171
CRAIGSVILLE	1	1						2
TOTAL SINGLE FAMILY	147	168	164	163	167	152	163	1,124
MULTI-FAMILY	2013	2014	2015	2016	2017	2018	2019	TOTALS
BEVERLEY MANOR	2	4	4	6	2	10	6	34
MIDDLE RIVER								0
NORTH RIVER				2				2
PASTURES								0
RIVERHEADS			24		12			36
SOUTH RIVER	13	4	8	8	16	7	3	59
WAYNE	29	242	17	30	38	48	210	614
CRAIGSVILLE								0
TOTAL MULTI-FAMILY	44	250	53	46	68	65	219	745
MANUF. HOMES	2013	2014	2015	2016	2017	2018	2019	TOTALS
BEVERLEY MANOR	14	22	7	16	18	24	7	108
MIDDLE RIVER	17	25	24	17	20	15	19	137
NORTH RIVER	6	6	9	7	4	6	6	44
PASTURES	1	6	3	5	7	1	2	25
RIVERHEADS	5	6	8	7	6	4	5	41
SOUTH RIVER	4	1	3	4	2	7	6	27
WAYNE	6	2	2	5	4	3	7	29
CRAIGSVILLE				1	4		3	8
TOTAL MANUF. HOMES	53	68	56	62	65	60	55	419
TOTAL ALL UNITS	244	486	273	271	300	277	437	2,288

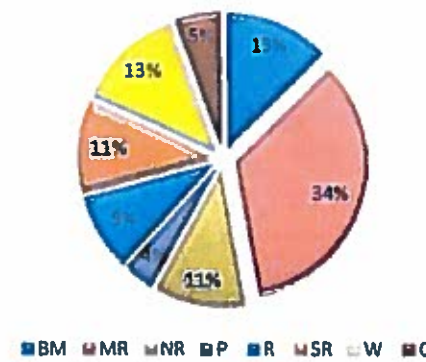
Single Family Dwellings by District 2019



Multi-Family Units by District 2019



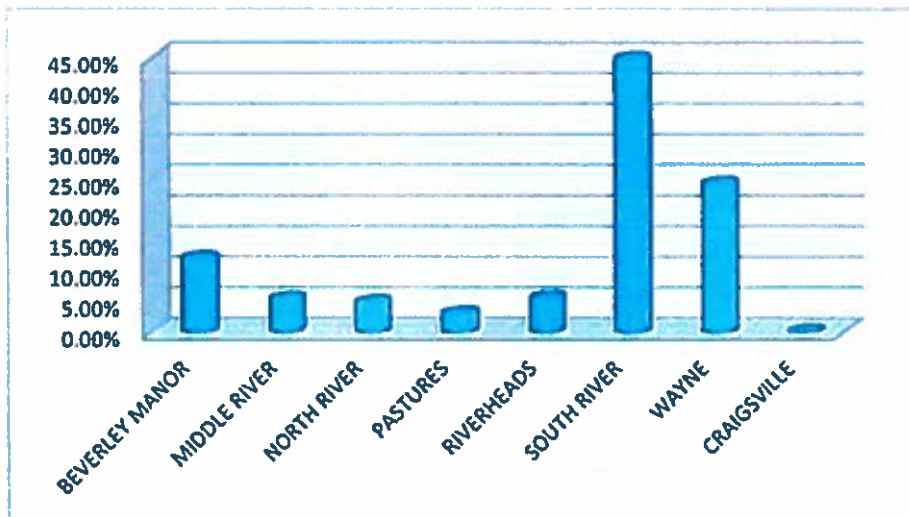
Manufactured Homes by District 2019



**CONSTRUCTION BY DISTRICT
(Two Year Comparison)**

DISTRICT	2018	2019	2018	2019
BEVERLEY MANOR	144	133	\$31,013,946	\$18,422,213
MIDDLE RIVER	101	106	\$5,451,272	\$8,302,309
NORTH RIVER	89	84	\$7,771,846	\$7,394,440
PASTURES	76	71	\$5,395,492	\$4,592,219
RIVERHEADS	125	103	\$19,349,618	\$8,532,294
SOUTH RIVER	121	136	\$11,913,894	\$68,054,417
WAYNE	120	184	\$18,917,455	\$37,008,564
CRAIGSVILLE	3	8	\$12,203	\$98,650

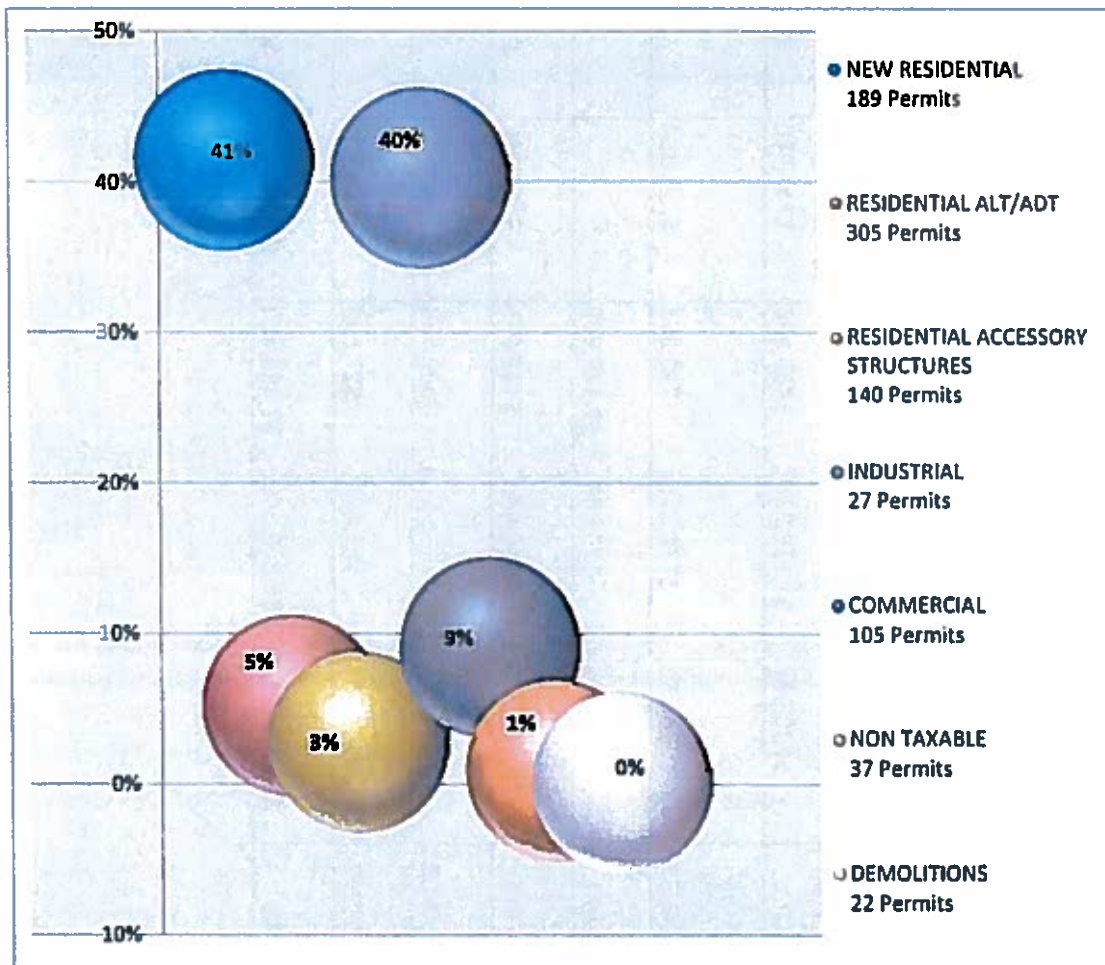
**PERCENTAGE OF CONSTRUCTION VALUE BY DISTRICT
2019**



CONSTRUCTION VALUE BY CLASSIFICATION 2019

TYPE	NO. PERMITS	VALUE
NEW RESIDENTIAL	189	\$63,216,730
RESIDENTIAL ALT/ADT	305	\$7,975,989
RESIDENTIAL ACCESSORY STRUCTURES	140	\$4,291,444
INDUSTRIAL	27	\$61,409,060
COMMERCIAL	105	\$13,905,642
NON TAXABLE	37	\$1,419,221
DEMOLITIONS	22	\$187,020

PERCENTAGE OF CONSTRUCTION VALUE BY CLASSIFICATION



VALUE OF CONSTRUCTION BY CLASSIFICATION

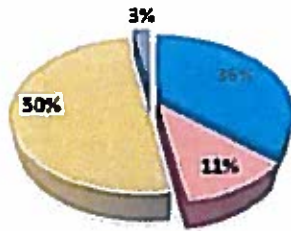
	BEVERLEY MANOR	MIDDLE RIVER	NORTH RIVER	PASTURES	RIVERHEADS	SOUTH RIVER	WAYNE	CRAIGSVILLE
NEW RESIDENTIAL	\$5,741,190	\$5,804,350	\$4,612,000	\$2,906,525	\$4,714,340	\$6,896,300	\$32,542,025	
RESIDENTIAL ALT/ADT	\$638,971	\$1,172,321	\$438,880	\$747,000	\$1,585,932	\$1,445,283	\$1,851,802	\$96,800
RESIDENTIAL ACCESSORY STRUCTURES	\$325,396	\$376,178	\$729,395	\$729,394	\$665,792	\$454,227	\$1,008,212	\$2,850
INDUSTRIAL	\$1,981,000	\$36,000	\$1,140,000			\$58,252,060		
COMMERCIAL	\$9,141,345	\$906,040	\$142,875	\$189,800	\$1,352,480	\$682,280	\$1,490,822	
NON TAXABLE	\$486,011		\$303,690	\$18,500	\$195,750	\$313,267	\$102,003	
DEMOLITIONS	\$108,300	\$7,420	\$27,600	\$1,000	\$18,000	\$11,000	\$13,700	
TOTALS	\$18,422,213	\$8,302,309	\$7,394,440	\$4,592,219	\$8,532,294	\$68,054,417	\$37,008,564	\$98,650

TYPE OF CONSTRUCTION BY DISTRICT

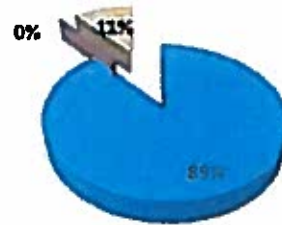
2019

■ RESIDENTIAL
 ■ INDUSTRIAL
 ■ COMMERCIAL
 ■ NON TAXABLE

BEVERLY MANOR



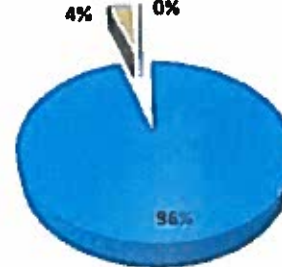
MIDDLE RIVER



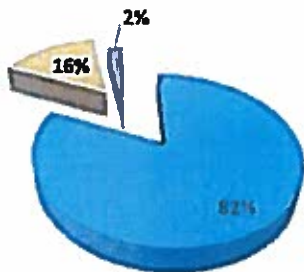
NORTH RIVER



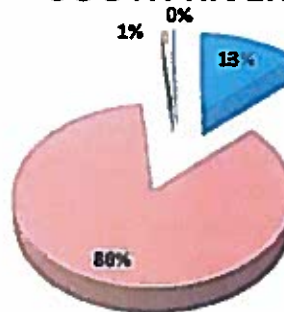
PASTURES



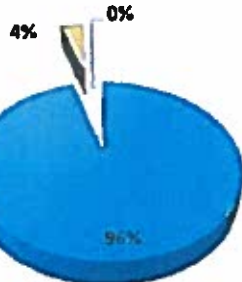
RIVERHEADS



SOUTH RIVER



WAYNE



CRAIGSVILLE



NON RESIDENTIAL PERMITS VALUED AT \$100,000 AND OVER

		BEVERLEY MANOR	
T-Mobile/AT&T	Tower Modification	\$	100,000
T-Mobile	Tower Modifications	\$	105,000
Eagles, LLC	Remodel for Training Room	\$	109,500
John C. Leavell	Machine Shop	\$	130,000
Augusta Ag. Indust. Expo., Inc.	Event Building	\$	160,000
Staunton Partners, LLC	Elevators	\$	229,500
Rent Anytime Storage, LLC	Self Storage Building	\$	250,000
Hansen Partners, LLC	Altering Concrete Floors	\$	250,000
County of Augusta	Reroof Gov't Center & Extension Office	\$	281,646
Farmers & Merchants Bank	Remodel Bank	\$	433,746
Richard & Cheryl Shelton	Finishing Work Started Under Orig. Permit	\$	690,000
Augusta Plaza Shopping Center, LLC	Remodel Store	\$	744,912
Shamrock Foods Company	Trash Compactor Addition	\$	771,300
Lavano, LLC	Dental Office	\$	1,307,200
Ramesh & Ramila Desai	Hotel	\$	5,000,000
		MIDDLE RIVER	
Rebecca R. Shreckhise, Tr.	Landscape Office & Garage	\$	220,000
Grottoes Group, LLC	Remodeling Store	\$	675,000
		NORTH RIVER	
County of Augusta, Virginia	Repairing Inground Pool	\$	163,000
Rouge River Farms, Inc.	Office & Production Area Addition	\$	1,140,000
		PASTURES	
Cestari Sheep & Wool Co.	Supp. For Adtl. Sq. Ft.	\$	100,000
		RIVERHEADS	
Mountain Movers, LLC	Classroom	\$	125,000
RI CS3, LLC	Remodel Gas Station	\$	138,000
Crown Castle	Reinforcing Tower	\$	269,000
Love's Travel Stops & Country Stores, Inc.	Tank	\$	375,000
Windmill Square, LLC	Remodel Store	\$	535,000
		SOUTH RIVER	
Shenandoah Valley Elec. Coop., Inc.	Control Building	\$	121,600
Hershey Chocolate of VA, Inc.	Sprinkler System	\$	122,300
Fishersville Property, LC	Remodel Warehouse	\$	217,800
University of Virginia Phys. Group	Remodel Doctors' Office	\$	250,000
The Town of Grottoes, Virginia	Repair Swimming Pool	\$	311,740
Hershey Chocolate of VA, Inc.	Sprinkler System for Adt.	\$	454,100
Hershey Chocolate of VA, Inc.	Addition for Trash Dock	\$	1,000,000
Dayton Hudson Corporation	Replacing Roof	\$	2,314,000
Hershey Chocolate of VA, Inc.	Dextrose Silo	\$	5,000,000
Hershey Chocolate of VA, Inc.	Peanut Processing Facility	\$	14,210,000
Hershey Chocolate of VA, Inc.	Addition for Processing Facility	\$	35,000,000
		WAYNE	
Fishersville AL, LLC	Sprinkler System	\$	161,000
Gateway Senior Living, LLC	Elevator	\$	191,700
Widewaters Fishersville Co., LLC	Remodel for Dollar Tree	\$	285,000
Widewaters Fishersville Co., LLC	Remodel Store	\$	568,057

AUGUSTA COUNTY PLANNING COMMISSION



ANNUAL REPORT 2019

AUGUSTA COUNTY PLANNING COMMISSION 2019 ANNUAL REPORT

MEMBERSHIP

The Augusta County Planning Commission 2019 commissioners were: E. Thomas Jennings, Jr., Chair; Gregory W. Campbell, Vice-Chair, James W. Curd; Kitra A. Shiflett; Gordon Kyle Leonard, Jr.; Stephen Neil Bridge; and Larry Howdysshell. Leslie C. Tate served as Secretary to the Commission.

MEETINGS

In 2019, the Planning Commission held ten (10) regular meetings. The Commission had strong attendance at all of their meetings with Steve Bridge attending all ten meetings. Greg Campbell, Kitra Shiflett and Larry Howdysshell missed only one meeting. The Commission continued their practice of meeting on the second Tuesday of each month and viewing the rezoning requests prior to the public hearings.

WORKLOAD

The Commission had five (5) rezoning requests come before them, four (4) Comprehensive Plan amendment requests, two (2) proffer condition amendment requests, and a 15.2-2232 Virginia State Code review of a utility scale solar facility for substantial accord with the Comprehensive Plan.

Two of the four Comprehensive Plan amendment requests were related to the Stuarts Draft Small Area Plan. Another Comprehensive Plan amendment request, initiated by the Board of Supervisors, was related to the completion of the East Stuarts Draft Sewer Feasibility Study – Phase I. The remaining Comprehensive Plan amendment was initiated by a landowner request for making the placement of a conservation easement in compliance with the Comprehensive Plan.

The Planning Commission appointed Mr. Bridge to serve as the Planning Commission liaison on a Board appointed committee to address utility scale solar, and potential other renewable energy sources, within the Comprehensive Plan.

The Commission also considered fifteen (15) Zoning and Subdivision Ordinance amendments, representing only a slight decrease from the seventeen (17) amendments heard in 2018.

REZONING OF LAND

Four (4) of the five (5) requests for rezoning were recommended to the Board to be approved, while a request to rezone from General Agriculture to Rural Residential was recommended to the Board for denial based on the area not meeting fire flow

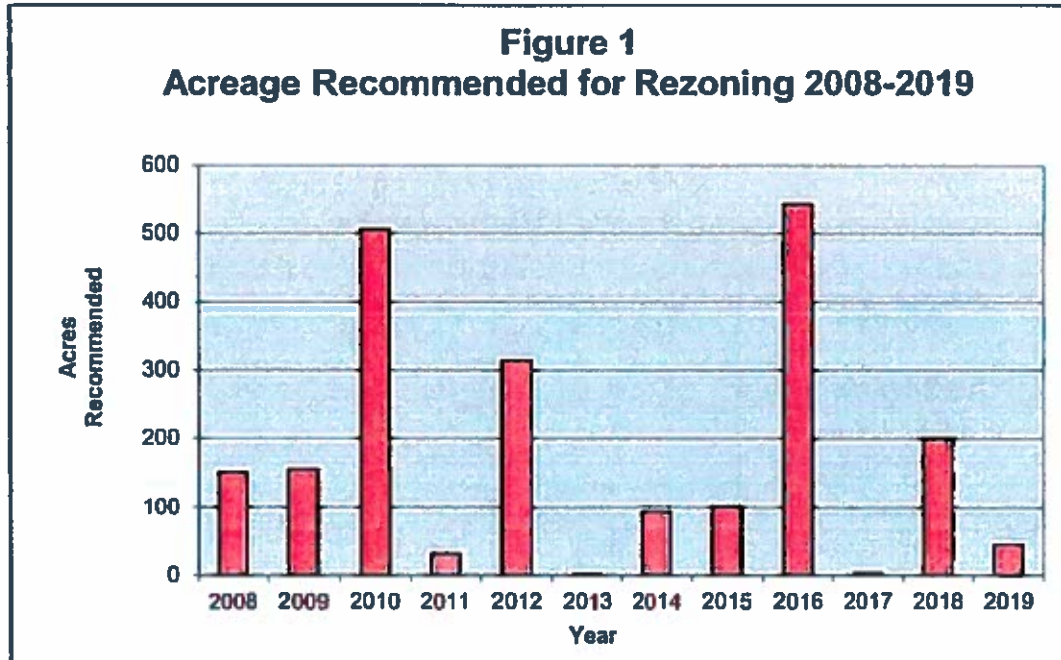
requirements of County Code. Table 1 shows a breakdown of the Planning Commission's actions on all the requests for rezoning by magisterial district.

**TABLE 1
RECOMMENDATIONS ON REQUESTS FOR REZONING
BY THE PLANNING COMMISSION
BY MAGISTERIAL DISTRICT**

DISTRICT	RECOMMEND APPROVAL	RECOMMEND DENIAL	TABLED	TOTAL
Beverley Manor	0	0	0	0
Middle River	1	0	0	1
North River	0	0	0	0
Pastures	0	1	0	1
Riverheads	0	0	0	0
South River	1	0	0	1
Wayne	2	0	0	2
TOTAL	4	1	0	5

The number of rezoning requests in 2019, five (5), was a decrease from the nine (9) requests heard in 2018. For the purposes of this report, only the rezoning requests will be considered, not the proffer condition amendments, or Comprehensive Plan amendments. The Board of Supervisors followed the recommendations of the Planning Commission in all of the rezoning cases in 2019.

The acreage recommended for rezoning decreased significantly compared to last year, from approximately 199.9 acres in 2018 to approximately 45.08 acres in 2019 (number does not reflect the approx. 33 acre request that was recommended for denial). Figure 1 below shows the acres recommended for rezoning from 2008 to 2019.

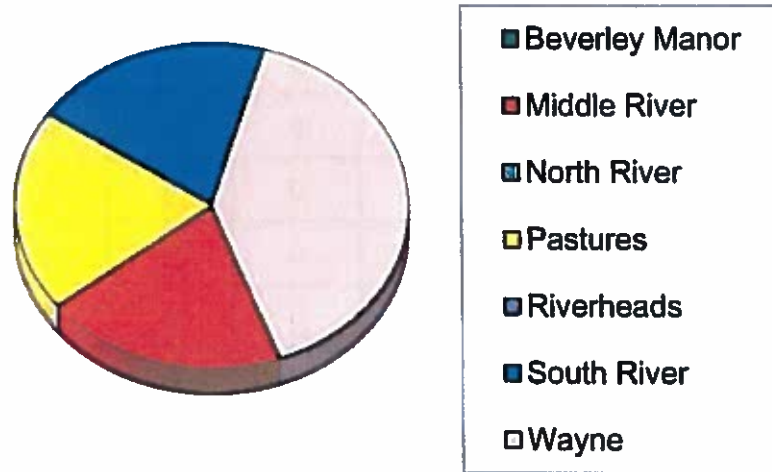


* Note: This table does not include requests to add the Public Use Overlay or requests to add or amend and restate proffers.

As shown in Figure 1 above, the acreage recommended for rezoning in 2018 was a notable increase, despite 2016, since 2013. The unique increase in 2016 was mostly attributable to one request to rezone approximately 515 acres from General Agriculture to General Industrial with a portion to Airport Business at the recommendation of the Board of Supervisors. However, 2019 saw another dip in the acreage recommended for rezoning from approximately 200 acres in 2018 to less than 50 acres in 2019.

The rezoning requests in 2019 were distributed over four (4) of the seven (7) magisterial districts. The Wayne District had two (2) requests. The South River, Pastures, and Middle River districts each had one (1) request. There were no rezoning requests made in Beverley Manor, North River or Riverheads districts in 2019. Figure 2 below graphically depicts the number of rezoning requests by magisterial district.

**Figure 2
Rezoning Requests by Magisterial District**



* Note: This table does not include requests for proffer condition amendments.

Approximately 87% of the land recommended for rezoning in 2019 was from General Agriculture. In addition, 5.97 acres, representing approximately 13% of land recommended for rezoning, was recommended for rezoning from Single Family Residential to General Business (4.6 acres) and Multi-Family Residential (1.37 acres). Table 2 lists the acres recommended for rezoning by zoning classification and magisterial district.

**TABLE 2
ACREAGE RECOMMENDED FOR REZONING
BY ZONING CLASSIFICATION AND MAGISTERIAL DISTRICT**

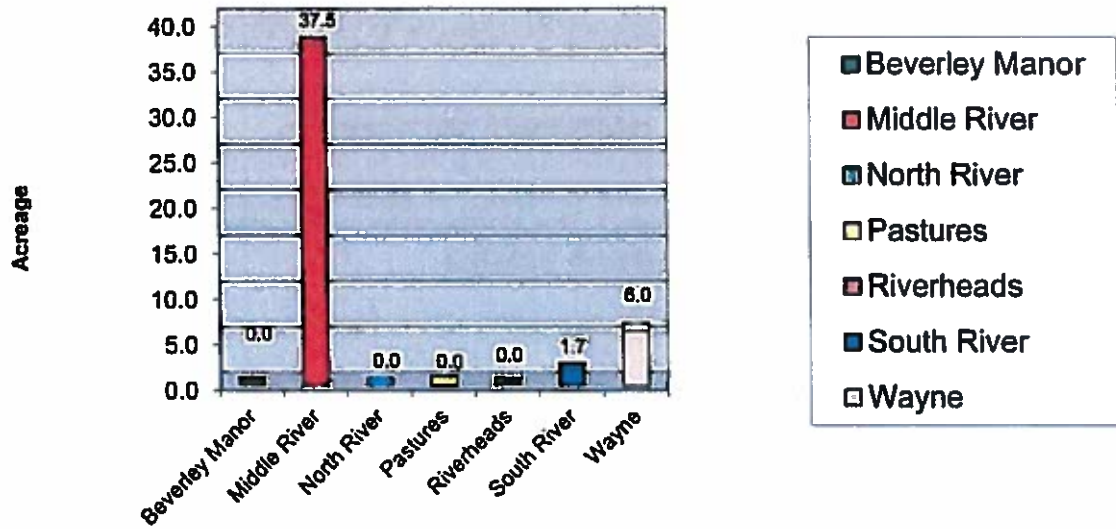
ZONE	Beverley Manor	Middle River	North River	Pastures	R'heads	South River	Wayne	TOTAL
General Agriculture	0	37.46	0	0	0	1.65	0	39.11
Rural Residential	0	0	0	0	0	0	0	0
Single-family Residential	0	0	0	0	0	0	5.97	5.97
Attached Residential-Duplexes and Townhouses	0	0	0	0	0	0	0	0
Manufactured Home Park	0	0	0	0	0	0	0	0

ZONE	Beverley Manor	Middle River	North River	Pastures	R'heads	South River	Wayne	TOTAL
Multi-family Residential	0	0	0	0	0	0	0	0
Airport Business	0	0	0	0	0	0	0	0
Limited Business	0	0	0	0	0	0	0	0
General Business	0	0	0	0	0	0	0	0
Planned Commerce	0	0	0	0	0	0	0	0
General Industrial	0	0	0	0	0	0	0	0
Planned Unit Developments	0	0	0	0	0	0	0	0
TOTAL*	0	37.46	0	0	0	1.65	5.97	45.08

* Note: This table does not include proffer condition amendment requests or rezoning requests not recommended for approval by the Commission.

Figure 3 graphically illustrates the geographic location of the acreage recommended for rezoning. The Middle River District had approximately 83% of the acres recommended for rezoning (although proffered conditions limited the development to 10 dwelling units), while the Wayne District had approximately 13.3% and the South River had approximately 3.7%.

**Figure 3
Acreage Recommended for Rezoning by District**



* Note: This table does not include proffer condition amendment requests.

RELATIONSHIP TO THE COMPREHENSIVE PLAN

One of the goals of the Augusta County Comprehensive Plan, affirmed by the Update 2014/2015, is to target the County's growth to those areas with the public services designed to accommodate the development. The Plan recommends that 80% of the County's future residential growth be located in the Urban Service Areas, while Community Development Areas are planned to accommodate up to 10% of the future residential growth. Rural Conservation Areas and Agricultural Conservation Areas are each expected to accommodate less than 5% of the future residential development, with Rural Conservation Areas expected to accommodate the majority of the rural residential development in the County.

One way to track how well the Comprehensive Plan is being implemented is to view the number of rezonings being sought by Comprehensive Plan Planning Policy Area. In 2019, four (4) of the five (5) requests for rezoning were in the Urban Service or Community Development Areas, totaling approximately 40.62 acres. This number includes the 33 acre request to rezone property from General Agriculture to Rural Residential that was denied by the Board of Supervisors for lack of adequate fire flow.

Of the approved rezoning requests, one was located outside of either an Urban Service Area or a Community Development area, in a Rural Conservation Area. This request was approved as a small, incremental addition to an existing manufactured home park with proffers limiting the development to 10 additional units.

Of the land being recommended for rezoning out of General Agriculture, 1.65 acres was requested to be rezoned for business development and 37.46 was for residential development. The remaining approximately 5.97 acres was requested to be rezoned from Single Family Residential to General Business or Multi-Family Residential.

ORDINANCE AMENDMENTS

In 2019, ordinance amendments continued to encompass a significant portion of the Planning Commission's workload. The Commission considered fifteen (15) Zoning and Subdivision Ordinance amendments including:

1. Reduction in individual sign sizes with waiver provisions and prohibiting sound emitting signs
2. Creating a provision for administrative permits in Single Family Residential and Rural Residential for the sale of guns requiring a Type 1 or Type 3 Federal Firearms License
3. Clarifying Board of Supervisors Authority to reserve the right to issue Special Use Permits
4. Amend age of adult dog from six months to four months
5. Reflect a change in the Augusta County Service Authority policy regarding reservation of capacity fees
6. Clarification that one-time existing dwelling division does not include mobile or manufactured homes
7. Remove waiver provision by Zoning Administrator for reduced parking requirements
8. Add definition of limited outdoor storage for application throughout the zoning ordinance
9. Amend the definition of a mobile home for accuracy
10. Remove percentage/size regulations for attached accessory dwellings that do not change the footprint of the structure
11. Permit a facility operator or manager to operate a short-term rental, bed and breakfast, vacation rental
12. Remove reference to private schools as an administrative permit in General Business
13. Add walk-in freezers and generators as accessory to business when screened and accessory to industrial establishments
14. Amend Manufactured Home Subdivision ordinance to permit single family dwellings that are not classified as manufactured homes
15. Permit the Board of Zoning Appeals to reduce the 100 ft. setback standard for batching plants for asphalt, cement or concrete in industrial districts.

The Board of Supervisors approved most of the ordinance amendments listed above which were recommended for approval by the commission. The Board of Supervisors has yet to act on the amendment, which would permit the Board of Zoning

Appeals to reduce the 100 ft. setback standard for batching plants for asphalt, cement or concrete in industrial districts. The Board sent the proposed amendment back to the Ordinance Committee for additional review.

PUBLIC USE OVERLAYS

The commission heard no requests to add the Public Use Overlay (PUO) in 2019.

LOT CREATION

There are two ways to create lots in Augusta County. The major subdivision process is the typical way lots get created in residential, business, or industrial zoning. In 2019, 104 lots were created through the major subdivision process. The other way lots can be created in the County is through the minor subdivision process. This process allows a single lot, zoned agriculture, to be created off a larger tract of land and approved administratively by the County Subdivision Agent. In most cases, these lots are created to be sold and houses to be built on them. Up to two lots zoned residential, industrial or business can also be created in this manner, although the minor subdivision process is most frequently used in the agricultural areas. In 2019, three (3) lots, zoned Single Family Residential and one (1) lot zoned General Business, were created through the minor subdivision process. All other lots created through the minor subdivision process were zoned General Agriculture.

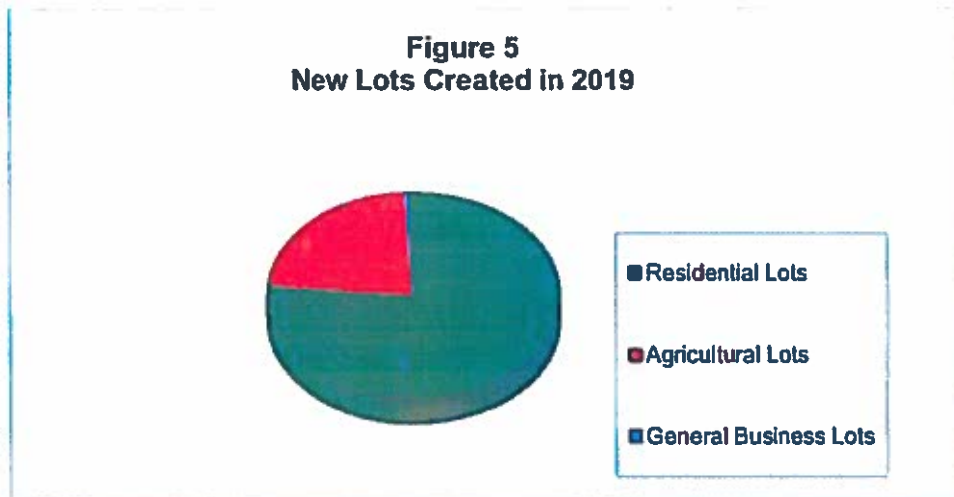
To get a clearer picture of the number of residential lots being created in Augusta County in any given year, you must analyze both the minor and major subdivision plats being approved in the County (See Table 3). In 2019, 104 lots were created through the major subdivision process, all for some type of attached, detached, multi-family or Planned Unit Development residential. In 2019, thirty-two (32) new lots were created through the minor subdivision process in General Agriculture.

New lots created in the County are required to have frontage on a public road. One exception to that is in the General Agriculture districts where it is possible to create a lot without road frontage, but meeting all other lot requirements, and convey it to a family member. In 2019, eight (8) of the thirty-two (32) lots (approximately 25%) created in General Agriculture districts were created using the Family Member Exception. An ordinance amendment from 2018, created another exception for a one time subdivision without road frontage for the purpose of subdividing an existing dwelling. Three (3) lots were created using this new exception in 2019.

**TABLE 3
LOTS CREATED IN 2019**

Zoning	Minor Subdivision Lots	Major Subdivision Lots	Total New Lots
Rural Residential	0	0	0
Single Family Residential	3	24	27
Attached Residential	0	32	32
Townhouse Residential	0	0	0
Master Planned Community (residential)	0	46	46
Multi-Family Residential	0	2	2
General Business	1	0	1
General Industrial	0	0	0
Planned Commerce	0	0	0
General Agriculture	32	0	32
TOTAL	36	104	140

Figure 5 (below) graphically presents the number of all lots created, both from major and minor subdivisions, from General Business zoning districts (0.7%), residential zoning districts (76.4%) and the General Agriculture zoning district (22.9%) in 2019.

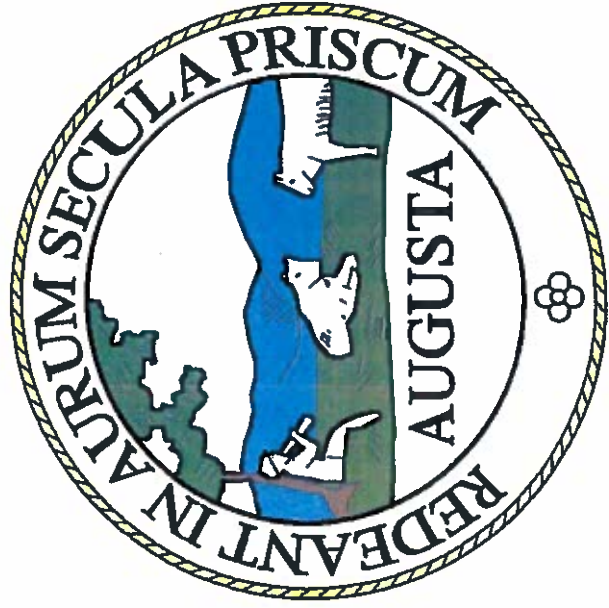


2019

Augusta County

Board of Zoning Appeals

Annual Report



Board of Zoning Appeals Members & Staff

Justine D. Tilghman - Chairwoman

George A. Coyner, II – Vice Chairman

Thomas W. Bailey

Daisy A. Brown

Steven F. Shreckhise

Sandra K. Bunch – Secretary and Zoning Administrator

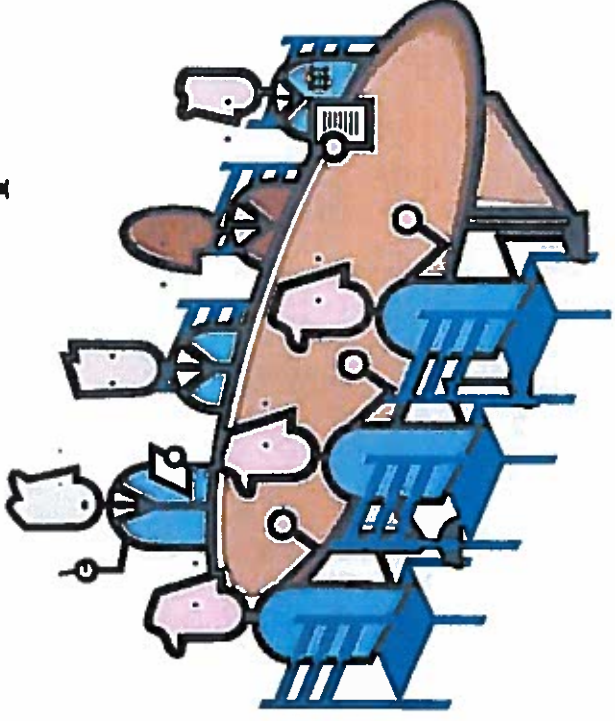
James Benkahla – County Attorney

John R. Wilkinson – Director of Community Development



MEETINGS

The Augusta County Board of Zoning Appeals meets the first Thursday of every month. They had twelve (12) regular meetings in 2019. Prior to each meeting the Board views some of the sites in question.



BOARD ATTENDANCE AT THE MEETINGS

Daisy A. Brown – 12 meetings
Thomas W. Bailey – 5 meetings
George A. Coyner, II – 12 meetings
Steven F. Shreckhise – 11 meetings
Justine D. Tilghman – 10 meetings



This report is respectfully submitted pursuant to Section 15.2-2308 Code of Virginia.

Attached is a list showing the number of Public Hearings before the Board of Zoning Appeals by Magisterial District.

Also attached are two (2) graphs showing the number of Special Use Permits and Variances.



Workload

Special Use Permits-The Board held seventy-two (72) Public Hearings on these requests. Sixty-five (65) were approved with restrictive operating conditions, four (4) were denied, and three (3) withdrew.

Variances-The Board held three (3) Public Hearings on Variance requests. One (1) was approved and two (2) denied.

Extensions of Time-The Board issued sixteen (16) Extensions of Time. One (1) Extension of Time request was denied.



NUMBER OF PUBLIC HEARINGS
BEFORE THE
BOARD OF ZONING APPEALS
BY MAGISTERIAL DISTRICT

SPECIAL USE PERMITS

BEVERLEY MANOR - 1

MIDDLE RIVER - 12

NORTH RIVER - 18

PASTURES - 4

RIVERHEADS - 15

SOUTH RIVER - 12

WAYNE - 10



NUMBER OF PUBLIC HEARINGS
BEFORE THE
BOARD OF ZONING APPEALS
BY MAGISTERIAL DISTRICT

VARIANCES

BEVERLEY MANOR - 0

MIDDLE RIVER - 0

NORTH RIVER - 0

PASTURES - 0

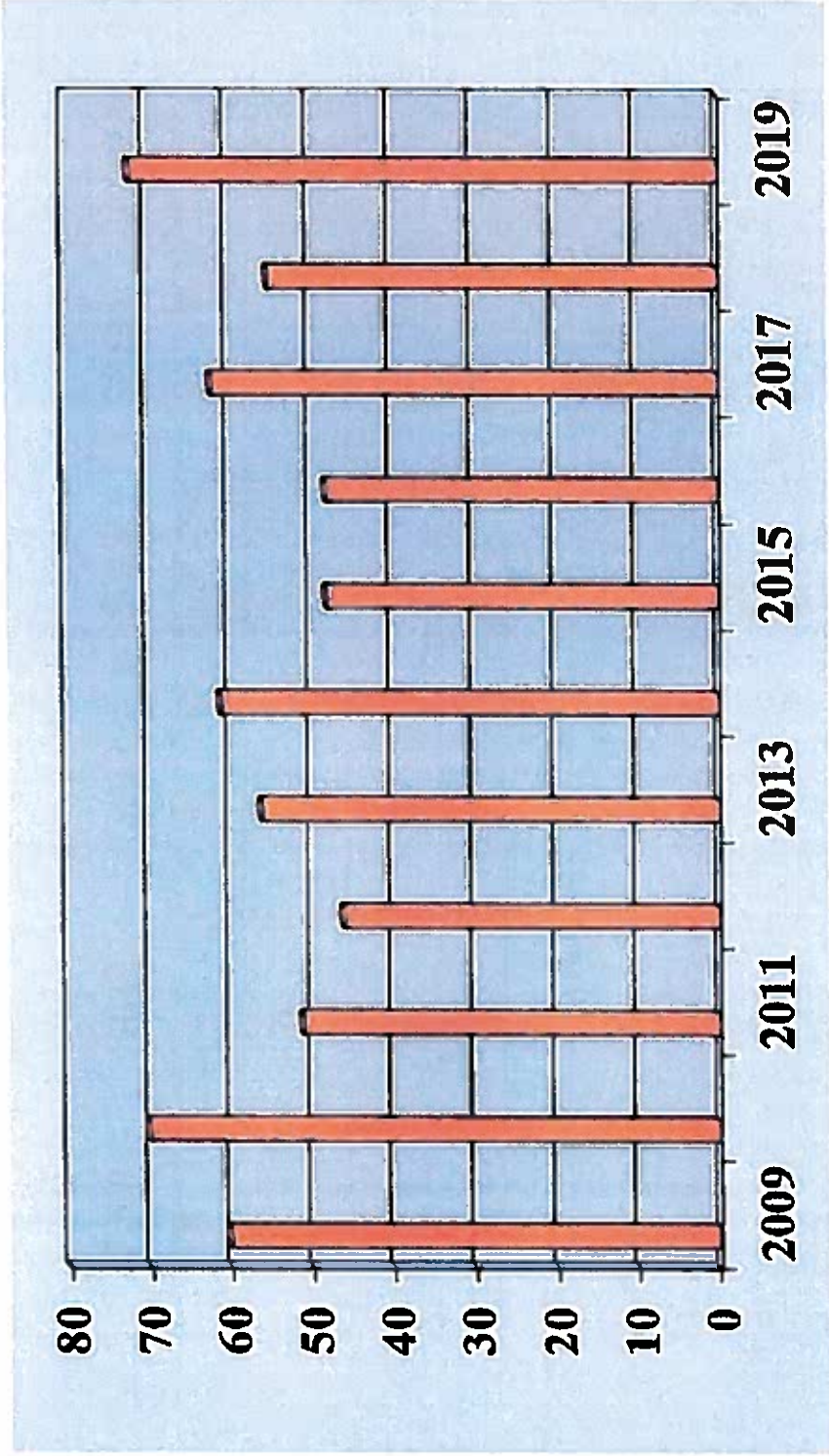
RIVERHEADS - 2

SOUTH RIVER - 1

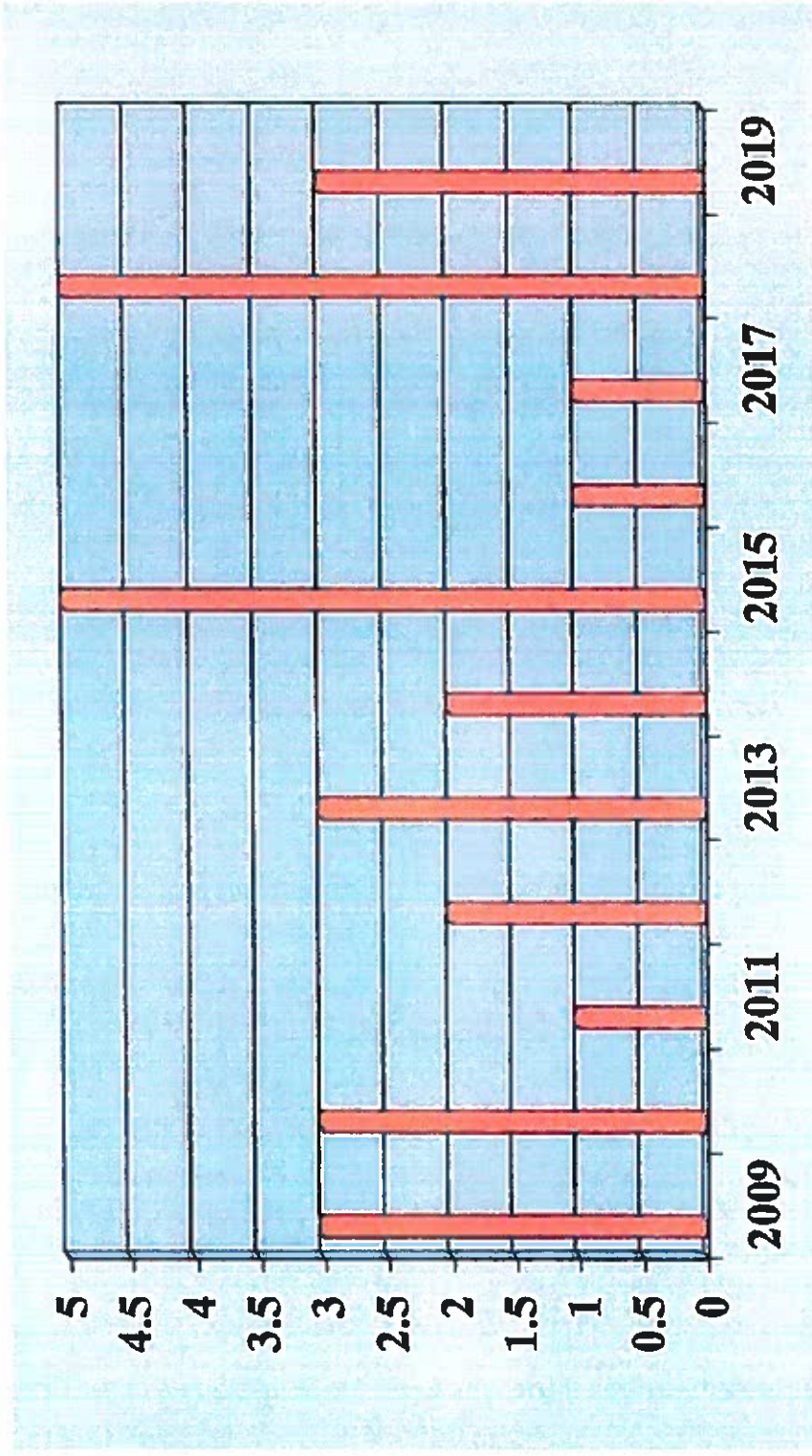
WAYNE - 0



SPECIAL USE PERMITS



VARIANCES



KENNELS

The Board had four (4) requests to operate a dog kennel operation. All of the requests were approved.

Special operating conditions were placed on each kennel.



**Augusta County
Recycling Committee Report
2019**

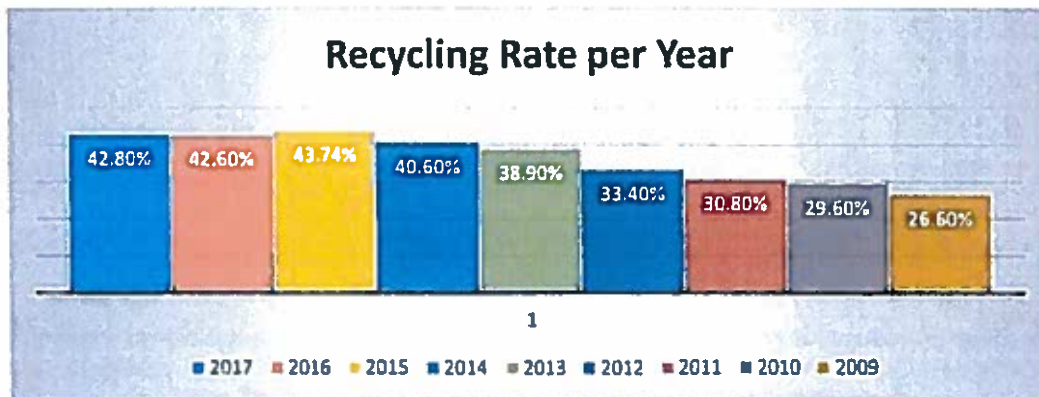
Committee Members:

Mark Daugherty	Beverley Manor District
Kent O'Donohue	North River District
David Kirby	Wayne District
Marty Siebken	Chair, South River District
Jo-el Nelson	Riverheads District
Ray Cline	Pastures District
Riley Murray	Middle River District
Wendell L. Coleman	Board Liaison
Jerry Martin	Landfill Liaison
Greg Thomasson	Landfill Liaison
Morgan Shrewsbury	County Liaison

The Recycling Committee consists of Board of Supervisors appointed members as well as liaisons. The purpose of the Committee is to advise the Board of Supervisors on recycling and provide a benefit to the residents of Augusta County.

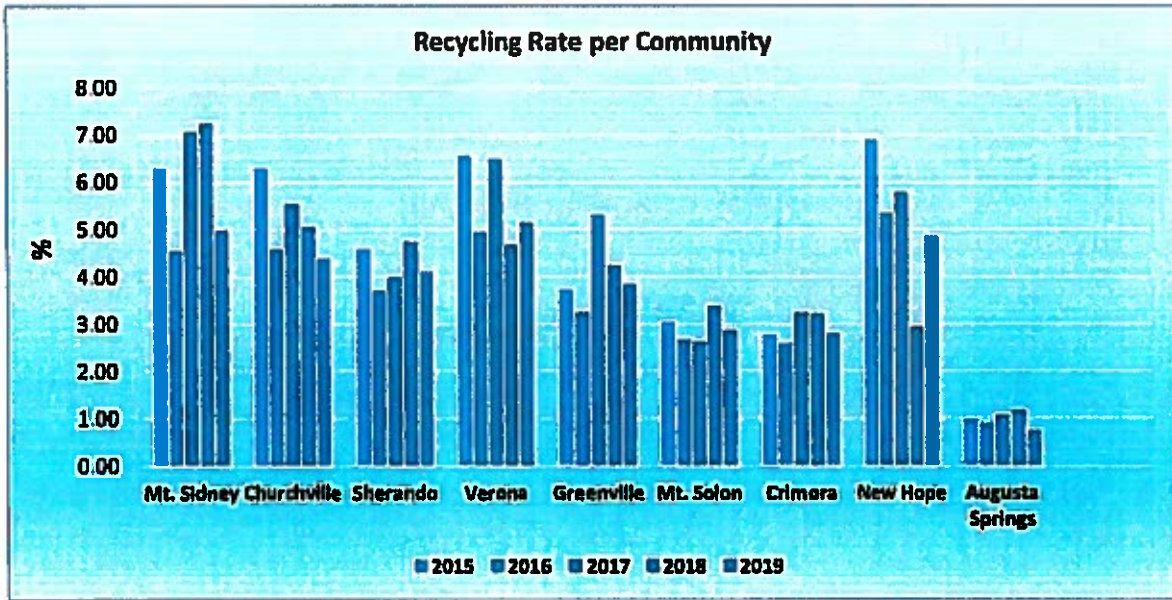
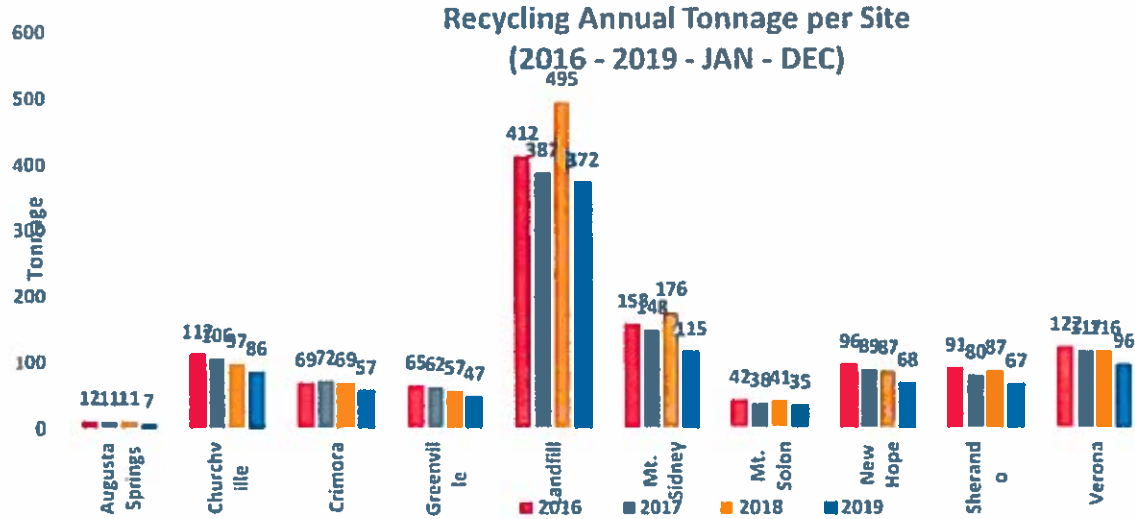
Recycling Rate

The State of Virginia currently requires a 25% recycling rate (VA Code §10.1-1411). In 2018, Augusta County, Staunton and Waynesboro's recycling rate was 34.0%, Up .9 points from the previous year. The State's overall recycling rate has not been posted. The process for calculating 2019's recycling rate will begin this spring. Contributing factors for the increase may be increased citizen awareness and better reporting. Included in the calculation is solid waste reused, non – MSW recycled, recycling residues and source reduction programs.



Recycling by Community

In 2010, the Recycling Committee began looking at recycling rates for communities (compactor sites). The Recycling Committee also started recognizing communities with the highest percentage collected. The hope is to increase recycling through community competition. The communities are recognized with a recycling champ sign that is displayed at the compactor site. This percentage is based on the total waste collected at the site and the percentage that is recycled.

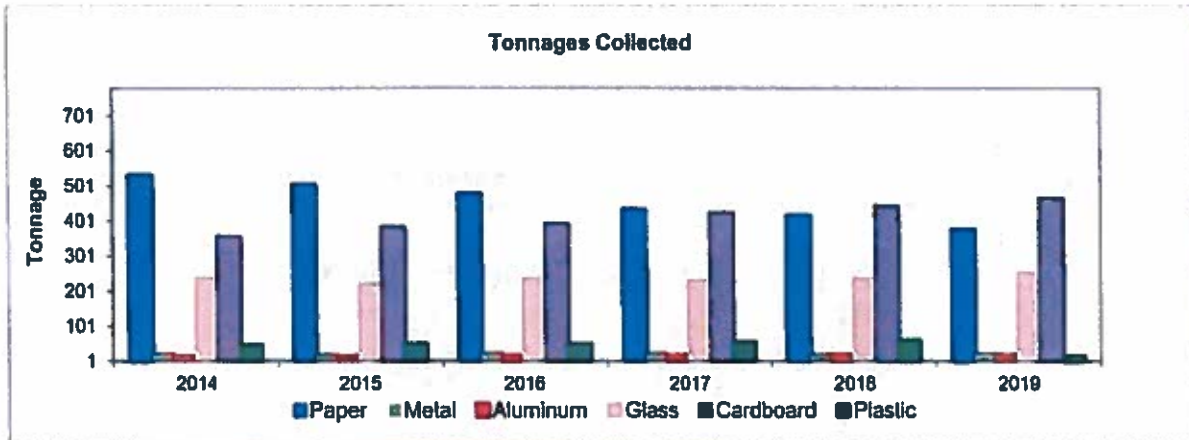


Tonnage Collected

The following table shows the County's tonnages collected for 2017 and previous years for comparison:

Year	Tonnage						
	Mixed Paper	Metal	Aluminum	Glass	Cardboard	Plastic	Totals
2010	692	63	8	212	405	31	1411

2011	665	29	9	218	395	40	1356
2012	595	29	8	226	383	43	1284
2013	572	28	10	232	386	45	1273
2014	529	26	10	236	354	45	1200
2015	504	25	10	219	382	48	1188
2016	478	29	12	236	391	49	1,195
2017	432	26	12	230	423	53	1,167
2018	415.07	24.77	12.01	235.62	442.39	58.76	1188.62
2019	375.68	27.15	14.22	250.79	463.80	13.17	1,144.81



Revenues and Expenditures per Commodity

The following table shows each commodity and its revenue and expenditure for the year. The average cost per ton for glass in 2018 was \$34.50, a price negotiated between Sonoco and Augusta, Staunton, Waynesboro. The average cost per ton all recyclables changed in June of 2018 making the rate for each commodity fluctuate with the markets.

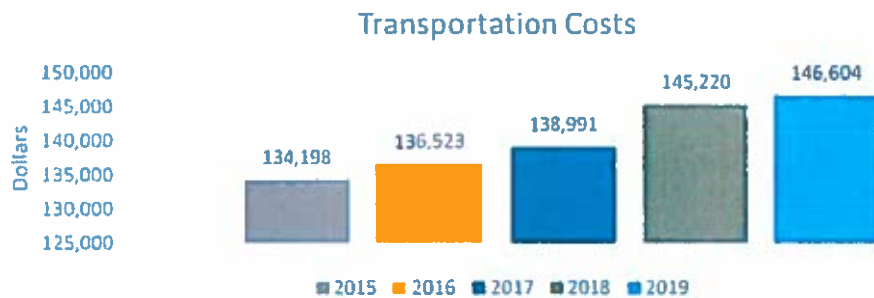
Year	Dollars (\$)						Total
	Mixed Paper	Metal	Aluminum	Glass	Cardboard	Plastic	
2010	3,443	0	5,043	-5,298	23,853	0	27,041
2011	7,200	0	8,021	-5,301	22,136	0	32,056
2012	0	0	7,480	-5,273	13,701	0	15,908
2013	0	0	7,968	-5,804	15,701	0	17,865
2014	0	0	8,016	-5,822	7,930	0	10,124
2015	0	0	5,926	-5,484	7,275	0	7,718
2016	0	0	4,205	-8,865	8,267	0	3,607
2017	0	0	4,392	-7,988	16,552	0	12,957
2018	-12,309.25	281.40	4,322.52	-7,476.37	\$9,951.06	-2,140.44	-7,371.08
2019	-18,609.30	27.15	4,697.80	-1,884.72	1,689.45	-790.20	-14,138.17



Transportation Cost

Under contract, Augusta County procures a private company to haul recyclables. In 2019, the total hauling cost was \$146,604.13. This includes hauling from the Landfill and all nine satellite locations. The following table shows costs comparisons:

Year	Annual Cost (\$)	Average Fuel Rate (\$)
2010	\$128,944	7.31
2011	\$135,575	7.58
2012	\$139,989	7.80
2013	\$142,783	7.94
2014	\$136,563	7.73
2015	\$134,198	4.47
2016	\$113,266	7.47
2017	\$138,991	7.66
2018	\$145,220	7.85
2019	\$146,604	7.93



Recycling Grant

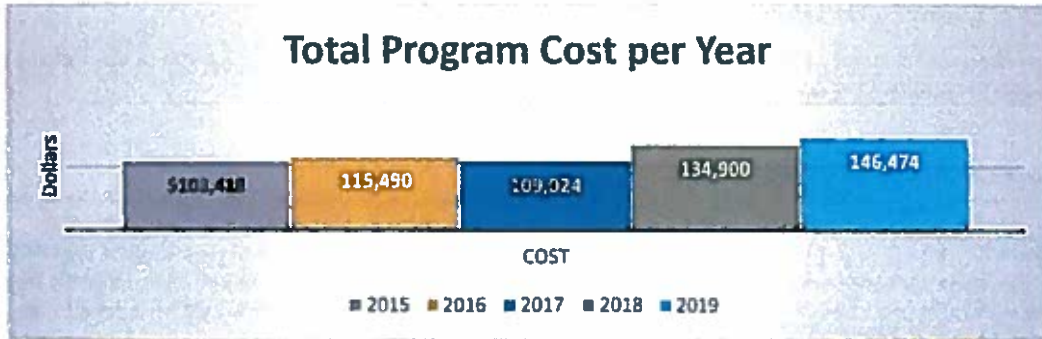
Annually, Augusta County applies for a grant from the State. Applications are submitted to the Department of Environmental Quality for review. For FY 2019 Augusta County received \$14,26800 to help offset costs for our recycling program.

Total program cost comparison:

Year	Recyclables Revenue	DEQ Grant Funds	Transportation Cost	Total Program Cost
2010	27,041	15,526	-128,944	-86,377
2011	32,056	15,382	-135,575	-88,137
2012	15,908	20,258	-139,989	-103,823
2013	17,865	17,869	-142,783	-107,049
2014	10,124	17,864	-136,507	-108,519

2015	7,718	18,062	-134,198	-108,418
2016	3,807	17,426	-136,523	-115,490
2017	12,957	17,010	-138,991	-109,024
2018	-7,519	17,840	-145,220	-134,900
2019	-14,138.17	14,268	-146,604	-146,474

Please note, that the total program cost does not exactly reflect the total cost to recycle. If the County did not recycle, waste would still be hauled to the landfill.



Landfill Benefit

Recycling provides a variety of benefits to the community including: greater stewardship, green education, saved landfill space and cost/revenue potential. The following are comparisons for how the landfill is affected:

Landfill Benefits			
Year	Tonnage	Air Space Saved (yd3)	Cost/Revenue Potential (\$45)
2010	1411	2,820	\$63,484
2011	1356	2,715	\$61,020
2012	1284	2,568	\$57,780
2013	1273	2,546	\$57,285
2014	1200	2,400	\$54,000
2015	1187	2,375	\$53,415
2016	1089	2,390	\$53,775
2017	1167	1,255	\$52,515
2018	1189	1,231	\$55,430
2019	1145	1,220	\$55,395

Compaction rate has been adjusted to match what the Landfill does, new compaction rate is 1,859lbs./cubic yard

Additional Landfill Recycling

In addition to paper, metals, glass, cardboard, and plastics, the Landfill collects many other items on a regular basis as part of its operations. The following was collected in CY2018 and includes the Spring Clean-Up:

Item	Quantity	Unit
Wood-waste	9,790	tons
Tires	341	tons
Used oil	15,235	gallons
Scrap metal/appliances	604	tons
Auto batteries	3.87	tons
Antifreeze	1079	gallons
Cardboard	61	tons
Goodwill E-Waste	63	tons

Spring Clean-Up Event

Augusta County has sponsored a Spring Clean-up event for 26 years. The County budgets \$30,000 to pay expenses, mainly tire recycling.

This event not only gives waivers to 6 or fewer tires per households at the Augusta Regional Landfill but coordinates community clean-up events with area Ruritan Clubs. The County pays the cost for hauling open-top containers to the Landfill. Participating Clubs were Deerfield and Middlebrooks Ruritan collected 250 tires plus trash from multiple cleanup events.

Additional services for citizens included providing an extra open-top container and collection of appliances and white goods at compactor sites — Bobby's Towing Service to collect appliances.

Fall Household Hazardous Waste Collection Event

At the Fall Household Hazardous Waste event, Committee Members and volunteers provided service to 262 vehicles that dropped off herbicides, pesticides, oil-based paint, antifreeze, batteries, used oil, and other chemicals from the County, Staunton, and Waynesboro. The Landfill stepped up and coordinated with Ecoflo Holding Inc. to provide disposal. This changed the system of how the hazardous material was received allowing for a streamlined system between community members and the Ecoflo staff. The new system worked well, and we look forward to working with them in the future.

Six hundred fifty gallons of oil, antifreeze, and old gas was recycled through this event.

The Recycling Committee also partnered with Goodwill Industries to accept computers, computer equipment, small kitchen appliances, and small electronics. Goodwill Industries recycles the material that cannot sell in stores.

Christmas Tree Recycling

The Recycling Committee promotes Christmas tree recycling annually. Staff coordinates efforts with local Ruritan Clubs and area contractors to recycle the trees. Trees are dropped off at many of the satellite locations. These trees are either ground for mulch or taken to the landfill for mulching latter.

Public Outreach and Education

The Recycling Committee performs many outreach activities every year. The past year the Committee:

- Displayed materials relating to the Household Hazardous Waste Event and Recycling
- Advertised the annual Spring Clean-Up Week and Household Hazardous Waste Collection Event
- Staffed a booth at the Augusta County Fair and Sweet Dreams
- Posted recycling information on the County's website and the Parks and Rec Guide
- Spoke with children at various schools
- Gave tours of the landfill

In the past, the Recycling Committee made recycling education kits that were distributed to elementary schools in the County. The kits were available to aid teachers when teaching their unit on recycling. In 2014 the Committee requested the kits be updated. At the same time, Hannah Hensley was seeking a project for her Girl Scout Gold Award. Ms. Hensley obtained approvals from School Administration, the County, and Girl Scout Council. Ms. Hensley's project included obtaining items that can be recycled and items made out of recycled material. Also, she created a teaching guide for teachers, meeting SOL requirements that included how items are recovered, games and crafts. She also worked with Wilson Memorial High School and the Governor's School to create videos. The education kits have been sent to all 11 elementary schools and included a home school group. Ms. Hensley's mentor for this project was Jo-el Nelson who is a Recycling Committee member and Governor's School teacher.

Regional Recycling

The Regional Recycling Committee (County, Staunton, Waynesboro) has discussed a regional materials handling facility to be located at the landfill. A local processing facility will require a significant investment (\$1,000,000). In return, materials can be processed and baled for recycling which will increase the value.

However, at this time the Committee feels there would be a significant return period due to the down market. This would not be a feasible approach at this time; however, as market or recycling technology changes it should be revisited in the future.

School Recycling

The Recycling Committee encourages Augusta County Public Schools to recycle. The Committee supports school recycling efforts including education. This year there were no applications for grant funding and the Committee is working with the school board to better assist with recycling.

Recycling in Offices

The Recycling Committee encourages County offices to recycle. Currently, mixed paper, cardboard and aluminum are being recycled. Vector Industries is contracted to collect paper at the Administration Building.

The Library is also participating in recycling activities that include paper and cardboard. They utilize Vector Industries for their hauling.

Advertising

All events are advertised by public service announcements, promoting on the County's website and posting holiday closings at the landfill and compactor sites. Also, ads are placed in Parks and Recreation's Guide for the Household Hazardous Waste Event and Spring Clean-Up

In addition, display cabinets are used at all satellite locations to post public service announcements, closures, etc.

Glass Recycling

The Recycling Committee is continually discussing the increasing cost to recycle glass, and citizens are happy with the service they receive now. Unfortunately, glass is expensive to recycling due to an abundance in the Virginia area and the high cost of cleaning the glass for recycling purposes. The Committee has worked with Sonoco and the Landfill to find solutions. Sonoco no longer take glass recyclables. The Landfill has graciously started using the collected glass as cover or other engineered materials utilized at the facility.

Plastic Recycling

The Recycling Committee is continually discussing the need for plastic recycling, and citizens are asking for this service. Unfortunately, plastic recycling is no longer accepted in our area. The Committee is working on creative ways to utilize community efforts to address these issues.

Local recycling facilities are willing to take plastics 1 and 2 but only if they are clean and separated. The Committee would like to utilize these programs and community organizations.

Sonoco Changes

Sonoco has become more restrictive on the quality of recyclables that it receives causing some anomalies in the recycling data. If aluminum is considered contaminated it is mixed in with the steel cans receiving a lower price at market. The Committee hopes that better signage at collection sites will fix this problem.

Committee Recommendations

1. Budgeting for increased cost of all recycling.
2. Budget for an increase in transportation cost if other vendors are used.
3. Budget for trials for clean plastic recycling tests.
4. Removal of glass from collection sites to allow other vendors to accept recyclables.



COUNTY OF AUGUSTA
COMMONWEALTH OF VIRGINIA
DEPARTMENT OF COMMUNITY DEVELOPMENT
P.O. BOX 590
COUNTY GOVERNMENT CENTER
VERONA, VA 24482-0590



MEMORANDUM

ENGINEERING DIVISION

To: Timothy K. Fitzgerald, County Administrator
From: Doug Wolfe, County Engineer
Date: February 18, 2020
Re: Request BOS Approval of Property Acquisition
DuPont Settlement – Acquisition from Holsinger Farms, LLC
Copy: John Wilkinson, Director of Community Development

Request authorization to acquire 6.33ac from Holsinger Farms, LLC
Funding Source: \$875 - Stormwater Capital 80000-8164

As we have briefed previously, the County was successful in our initial application for funding as part of the DuPont Waynesboro – South River/South Fork Shenandoah River/Shenandoah River Natural Resource Damage Assessment and Restoration (“NRDAR”) settlement.

This request involves continued work at the Dooms Crossing site. The project will involve acquisition of approximately 6 acres of floodplain property and upstream easements at the site of the former Coiner’s Mill (Slate Hill Mill) Dam on the South River immediately upstream of Dooms Crossing Road and 2.3 miles downstream of the Municipal Boundary of the City of Waynesboro. This project proposes the removal of a breached, low-head dam and accumulated woody debris, as well as the restoration of 600 linear feet of laterally migrating channel upstream of the defunct dam. The breached dam and accumulated debris currently impede recreational river use, pose a drowning and public-safety hazard, and create unstable stream geometry that has led to significant sediment and nutrient input to the river system.

Since the initial award, the County was also successful in our application for additional funding to develop a boat launch and small parking area on the property that will be

acquired. Staff is working through options for this work and will be prepared to brief recommendations at a later time.

For the initial grant award, staff has completed the survey of the proposed acquisition from Holsinger Farms, LLC and has negotiated the terms of the Draft deed with the NRDAR trustees. Staff is requesting authorization to proceed with acquisition of the property referenced in the attached deed and plat. , the Trustees will compensate only the appraised value (\$79,125) and the Board is asked to pay the difference of \$875 to meet the owner's asking price of \$80,000. A Phase 1 Environmental Site Assessment completed for the site recommends no further action to meet due diligence requirements.

As staff works to complete the stream bank restoration, we will work with adjacent owners to acquire both permanent and temporary easements. Those easement documents will be finalized once the restoration plan is completed and approved and compensation, if any, is included in the awarded grant funds.

Staff will be available for any questions at the staff briefing on Monday.

Doug

Tax exempt from tax under Virginia Code § 58.1-811(A)(3)

Prepared by James R. Benkahla, VSB No. 39612

Tax Map No. 68-54 (Portion)

Title insurance with respect to the property conveyed by this Deed is with Fidelity National Title Insurance Co.

Consideration \$80,000

THIS DEED made and entered into as of this ____ day of _____, 2020, by and between **HOLSINGER FARMS, LLC (Grantor)** and the **COUNTY OF AUGUSTA, VIRGINIA (Grantee)**, a political subdivision of the Commonwealth of Virginia, for which the address is 18 Government Center Lane, Verona, VA 24482.

WITNESSETH :

WHEREAS, Grantor is the owner of Tax Map No. 68-54 (portion) containing 6.330 acres and situate in the Wayne District of Augusta County, Virginia, as shown on the attached plat entitled "Plat Showing a Division of the Holsinger Farms, LLC Property, Wayne Dist., Augusta Co., VA," dated July 22, 2019, and prepared by Thomas Dorr ("the Plat"); and

WHEREAS, at a regular meeting held February 26, 2020, Grantor approved the purchase of real estate containing approximately 6.330 acres located in the Wayne District of Augusta County, Virginia; and

NOW, THEREFORE, for and in consideration of the sum of **TEN DOLLARS (\$10.00)**, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Grantor does hereby **GRANT, BARGAIN, SELL and CONVEY** with **GENERAL WARRANTY OF TITLE and ENGLISH COVENANTS OF TITLE** unto Grantee, the following described real estate, to-wit:

ALL THAT certain lot or parcel of land, together with all rights, privileges and appurtenances thereunto belonging or in anywise appertaining, lying and being in the Wayne District of Augusta County, Virginia, containing 6.330 acres, more or less, and

more particularly shown and described as "Lot B" on the above-mentioned Plat attached hereto.

The real estate herein conveyed is a portion of the property conveyed to Holsinger Farms LLC by Deed from Adrian C. Holsinger (a/k/a Adrian Cletus Holsinger, acting by and through Daniel A. Holsinger, Attorney-in-Fact) and Genevieve M. Holsinger dated May 7, 1999 and recorded in the Clerk's Office in Deed Book 1421 at page 347, and being designated as Tract Four therein; and being the same property acquired by Grantor by deed dated May 1, 1963, from Richard E. Carter, of record in the Clerk's Office in Deed Book 481, Page 112.

Reference to said deeds is hereby expressly made for a more particular description and for further derivation of title.

Grantor covenants that it has the right to convey said property; that it has done no act to encumber same; that Grantee shall have quiet and peaceful possession of same, and that Grantor will execute further assurances of title as may be necessary and any further documents contemplated herein.

This conveyance is made expressly subject to all easements, conditions, restrictions and reservations contained in duly recorded deeds, plats and other instruments constituting constructive notice in the chain of title to the property hereby conveyed which have not expired by limitation of time contained therein or otherwise become ineffective.

Environmental Restrictions. Grantee acquired Tax Map 68-54 (portion) (the "Property") in accordance with the terms of the DuPont Waynesboro – South River/South Fork Shenandoah River/Shenandoah River Natural Resource Damage Assessment and Restoration ("NRDAR"): Restoration Plan/Environmental Assessment (the "Restoration Plan"), as approved by the United States District Court for the Western District of Virginia, Harrisonburg Division, in the Consent Decree ("Consent Decree") entered on July 28, 2017, in *United States, et al. v. E.J. du Pont de Nemours and Company*, Civil Action No. 5:16CV-82. The Department of the Interior, acting by and through the United States Fish and Wildlife Service, and the Commonwealth of Virginia,

collectively the Trustees, as further identified in the Consent Decree, approved acquisition of the Property to carry out the environmental replacement and restoration goals of the Restoration Plan, and provided funding to Grantee from the DuPont Waynesboro NRDAR settlement fund to acquire the Property.

Specifically, the Trustees permitted purchase of the Property to provide recreational use and water quality protection within the South Fork Shenandoah watershed, and otherwise carry out the environmental replacement and restoration goals of the Restoration Plan. As a condition of receipt of funds from the Trustees, Grantee agrees to be bound by the following Environmental Restrictions. Grantee shall not allow the Property to be utilized for any other purpose without (i) the express written permission of the Trustees; (ii) acquiring additional real property in the South River or South Fork Shenandoah River watersheds that (a) is of at least equal fair market value, (b) provides greater service replacement and protection, and (c) provides for the permanent protection of such property in accordance with the terms approved by the Trustees; or (iii) repaying to the DuPont Waynesboro NRDAR settlement fund (or, in the event such account is no longer in existence, paying to the Commonwealth of Virginia Land Conservation Fund or successor to such fund) an amount equivalent to the funds provided by the Trustees for acquisition of the Property or the then-current fair market value of the Property being used for a different purpose, whichever is greater. Any approvals by the Trustees under this Paragraph shall be at the Trustee's sole and absolute discretion. These Environmental Restrictions provided for in this Deed are binding upon the Grantee (together with its successors and assigns), inure to the benefit of the Trustees (together with its successors and assigns), and shall continue as a servitude running in perpetuity with the Property, however, these

environmental restrictions shall immediately cease and become a nullity in the event the burdened property is acquired by the United States or the Commonwealth of Virginia.

Notwithstanding the Environmental Restrictions, the following actions may be permitted within that portion of Lot B, 50 ft in width along the eastern boundary line with Doods (reference INST # 030007398): water withdrawal, access to river for fishing, cattle exclusion and alternative water supply.

SIGNATURE PAGE FOLLOWS

WITNESS the following signature and seal the day, month and year first above written.

_____ By: _____
Date Title:

STATE OF VIRGINIA
COUNTY/CITY OF _____, to-wit:

The foregoing Deed was acknowledged before me this ____ day of _____,
2020 by _____, _____ of Holsinger Farms,
LLC.

Notary Public

My commission expires: _____

ACCEPTED: _____
Gerald Garber, Chair
Augusta County Board of Supervisors

APPROVED AS TO FORM:

James R. Benkahla, Esq.
County Attorney for Augusta County

Exhibit A

ALL THAT certain lot or parcel of land, with improvements thereon together with all rights, privileges and appurtenances thereunto belonging, lying and being in the Wayne District of Augusta County, Virginia, containing 6.330 acres, more or less, and more particularly shown and described as "Lot B" on the Plat attached hereto entitled "Plat Showing a Division of the Holsinger Farms, LLC Property, Wayne Dist., Augusta Co., VA," dated July 22, 2019, and prepared by Thomas Dorr.

PLAT SHOWING A DIVISION OF THE
HOLSINGER FARMS, LLC. PROPERTY

WAYNE DIST. AUGUSTA CO., VA
SCALE 1" = 100' JULY 22, 2019

EGS & ASSOCIATES, INC.
15 TERRY ST., STAUNTON, VA

OWNER'S CONSENT AND DEDICATION

THE PLATTING OR DEDICATION OF THE FOLLOWING DESCRIBED LAND "PLAT SHOWING A DIVISION OF THE HOLSINGER FARMS, LLC. PROPERTY" IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS, AND TRUSTEES, IF ANY.

OWNER: DANIEL A. HOLSINGER, MANAGING MEMBER

NOTARY ACKNOWLEDGMENT

STATE/Commonwealth of _____

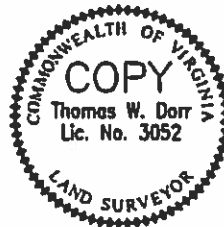
CITY/COUNTY OF _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

___ DAY OF _____, 20___, BY: DANIEL A. HOLSINGER

MY COMMISSION EXPIRES THE ___ DAY OF _____, 20___

NOTARY PUBLIC



SUBDIVISION AGENT

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD BRG.	CHORD
C1	7°30'00"	1190.92'	155.89'	78.06'	S 48°24'30" E	155.78'

THE BOUNDARY SURVEY SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY.

THIS SURVEY WAS PERFORMED WITHOUT A TITLE REPORT AND MAY NOT INDICATE ALL ENCUMBRANCES UPON THE PROPERTY.

RECORDED EASEMENTS ARE NOT SHOWN.

NO GRAVES OR PLACES OF BURIAL WERE NOTED DURING THIS SURVEY.

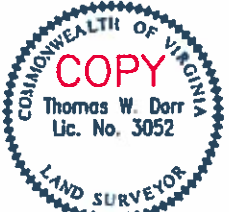
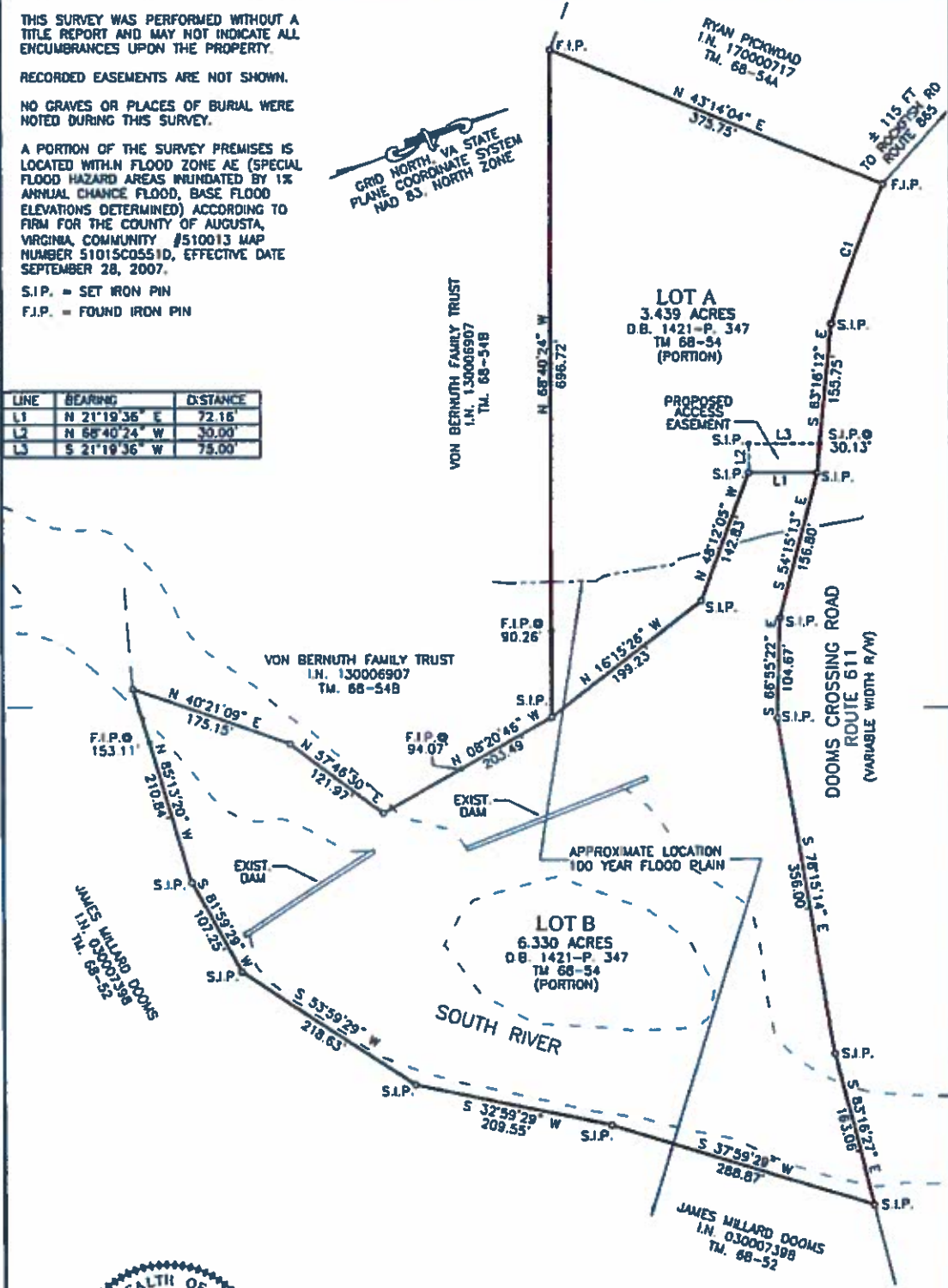
A PORTION OF THE SURVEY PREMISES IS LOCATED WITHIN FLOOD ZONE AE (SPECIAL FLOOD HAZARD AREAS INUNDATED BY 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO FIRM FOR THE COUNTY OF AUGUSTA, VIRGINIA, COMMUNITY #510013 MAP NUMBER 5101SC0551D, EFFECTIVE DATE SEPTEMBER 28, 2007.

S.I.P. = SET IRON PIN

F.I.P. = FOUND IRON PIN



LINE	BEARING	DISTANCE
L1	N 21°19'36" E	72.16'
L2	N 68°40'24" W	30.00'
L3	S 21°19'36" W	75.00'

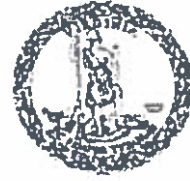


PLAT SHOWING A DIVISION OF THE
HOLSINGER FARMS, LLC. PROPERTY

WAYNE DIST. AUGUSTA CO., VA
SCALE 1" = 100' JULY 22, 2019
EGS & ASSOCIATES, INC.
15 TERRY ST., STAUNTON, VA



COUNTY OF AUGUSTA
 COMMONWEALTH OF VIRGINIA
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 P.O. BOX 590
 COUNTY GOVERNMENT CENTER
 VERONA, VA 24482-0590



Ref. # 20-165

MEMORANDUM

TO: Board of Supervisors
 FROM: Leslie Tate, Senior Planner *Leslie*
 SUBJECT: VHDA Low Income Housing Tax Credit Projects
 DATE: February 19, 2020

The County has received requests from Mountain Laurel Manor III VA LLC (Mountain Laurel Manor Phase III) and Woda Cooper Companies (Cardinal Meadows) for the Board of Supervisors to consider passing a resolution designating these parcels as revitalization areas to improve the grant scoring process for VHDA low income tax credits. Attached you will find maps for each project. A brief description of each project is as follows:

Project Name: Mountain Laurel Manor Phase III
Location: Located South of Bobby's Way
Developer: Mountain Laurel Manor III VA LLC
Number of Units: Phase I: 48 units (already approved)
 Phase II: 48 units (already approved)
 Phase III: No unit count provided, although the zoning ordinance would limit the maximum development, utilizing 4 stories, to 54 units based on the acreage.

Potential Issues: The property has been zoned multi-family since 1996. No site plan has been provided at this time. According to the developer, Phase I and Phase II received VHDA tax credits. The developer would like the parcel designated as a revitalization area to improve the grant scoring. Justification provided by the developer relates to the provision of amenities (playground equipment) and the effects the cost of such amenities have on the competitiveness of the grant application (See attached letter of request).

Project Name: Cardinal Meadows
Location: 843 Jefferson Highway, Staunton Virginia
Developer: Woda Cooper Development, Inc.
Number of Units: 1 Bedroom: 0
 2 Bedrooms: 64

Staunton (540) 245-5700

TOLL FREE NUMBERS

Waynesboro (540) 942-5113

From Deerfield (540) 939-4111

From Bridgewater, Grottoes

Harrisonburg, Mt. Solon & Weyers Cave (540) 828-6205

FAX (540) 245-5066

	3 Bedrooms:	16
	TOTAL	80
Unit Type	One	4-story building

Potential Issues: The property has been zoned multi-family since 1988. Based on the information provided by the developer, the site plan does not provide interconnectivity as required by Augusta County Ordinance from the proposed 80 unit apartments and adjacent property to the east. In addition, the proposed site plan appears to show phasing of additional apartment development. Staff is under the impression that the developer is asking for the revitalization area to pertain to only the 80 unit proposed apartment building and not to the other apartments planned on the property (See attached site plan and letter of request).

VHDA defines a Revitalization Area as:

A "revitalization area" is any area that is (i) either (1) blighted, deteriorated, deteriorating or, if not rehabilitated, likely to deteriorate by reason that the buildings, improvements or other facilities in such area are subject to one or more of the following conditions- dilapidation, obsolescence, overcrowding, inadequate ventilation, light or sanitation, excessive land coverage, deleterious land use, or faulty otherwise inadequate design, quality or condition, or (2) the industrial, commercial or other economic development of such area will benefit the city or county but such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational, entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area; and (ii) private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in such area and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area.

County staff does not feel it is prudent to establish revitalization areas on a piecemeal basis for the purposes of aiding individual grant applications. In staff's opinion, the potential designation of revitalization areas should involve analysis and data review in order to determine a policy from a countywide perspective. A central question that should be answered in our Comprehensive Plan:

Where in Augusta County does the designation of revitalization areas ensure the policies of our Comprehensive Plan are supported, while also supporting the enabling legislation for such designation?

In addition, the enabling legislation for localities to grant revitalization areas is clear in determining that such an area is in need of tax credits to help provide a mix of income

level housing to encourage and maintain economic development areas. Fishersville is a defined growth area within the County that has and continues to see private investment and growth in a range of housing types. Without data review and a countywide analysis, staff cannot advise, at this time, that the Board should determine that specific parcels in Fishersville are more in need of a revitalization area designation than other areas within the County.

Staff could support that the Board undertake such a countywide data review and analysis in order to make sure that the variety of housing types needed for our residents are met in the most equitable manner through our Comprehensive Plan's goals, objectives, and policies.

Staff will be available to answer any questions about the revitalization area resolutions being requested by the applicants. If you have any specific questions about the projects or the VHDA program, please let us know as soon as possible, so that we might be able to get you the information prior to Monday's Staff Briefing.

Leslie Tate

From: Jen Surber <jensurber@surberdev.com>
Sent: Tuesday, February 11, 2020 7:25 PM
To: ComDev
Cc: Leslie Tate
Subject: [EXTERNAL] Mountain Laurel Manor III - request for Board consideration
Attachments: Mountain Laurel Manor III Revitalization Resolution UNEXECUTED.docx

Ms. Tate,

Thank you for your time this morning. As we discussed, I am planning to submit an application to the Virginia Housing Development Authority (VHDA) in the upcoming 2020 competitive application cycle for tax credits to be used for the development of the third phase of Mountain Laurel Manor. The applications are due on March 12th. Per our conversation, VHDA has a scoring system that is used to rank applications. This scoring system awards points to developments for having a variety of different attributes, which include, but are not limited to: energy efficiency, affordability, proximity to public services/transportation, and census tracts with low percentages of poverty. They also have a point category for Efficient Use of Resources (EUR), which is one way the Authority attempts to place priority in their ranking system for developments requesting the fewest tax credits to produce the highest quality affordable housing units.

The first and second phases of Mountain Laurel Manor were successful in "winning" credits in past cycles by receiving points in these, and other, point categories. However, these phases have not included the construction of playgrounds or other community amenities because the cost of the equipment would have caused the EUR scores to decrease and thereby eliminate the competitive edge of the applications. That is why I am writing to ask the County to please consider supporting the Mountain Laurel Manor III application by adopting a resolution to qualify this site as a revitalization area. I have worked with several different localities throughout the Commonwealth in this way. Examples are available upon request. The area can be limited to the Mountain Laurel Manor development site without including any surrounding areas. The 15 points that would be awarded to the application for having this County support would allow us to include the cost of much needed amenities, such as playground equipment, in this application as we complete the development in its third and final phase. It is my goal, as the owner and developer of this community not only to provide high quality and affordable housing, but also to provide a livable community with resources and amenities for the families who reside there.

I reached out to Stephanie Flanders at VHDA this afternoon after our conversation this morning and she related to me that VHDA does NOT require a public hearing in order for a revitalization area resolution adopted by the Board of any locality to be considered by VHDA for scoring purposes. This resolution would go nowhere except to VHDA as a part of the application for Mountain Laurel Manor III and this request is for the resolution only, not any support, financial or otherwise, of this development.

I look forward to speaking with you next Thursday. Please forgive me, but I was driving when we spoke and do not recall the time you indicated was best for you. Would you please remind me? In the meantime, if it would be helpful to provide any examples from other localities or to discuss this earlier given the timing of the next Board meeting, I will make myself available at your convenience.

Sincerely,

Jen Surber
276-698-8760 (cell)

MUST BE ON COUNTY LETTERHEAD

_____ 2020

**JD Bondurant
Virginia Housing Development Authority
601 South Belvidere Street
Richmond, VA 23220**

**VHDA Tracking Number: 2020-C-09
Development Name: Mountain Laurel Manor III
Development Jurisdiction: Augusta County
Name of Owner/Applicant: Mountain Laurel Manor III VA LLC**

RESOLUTION

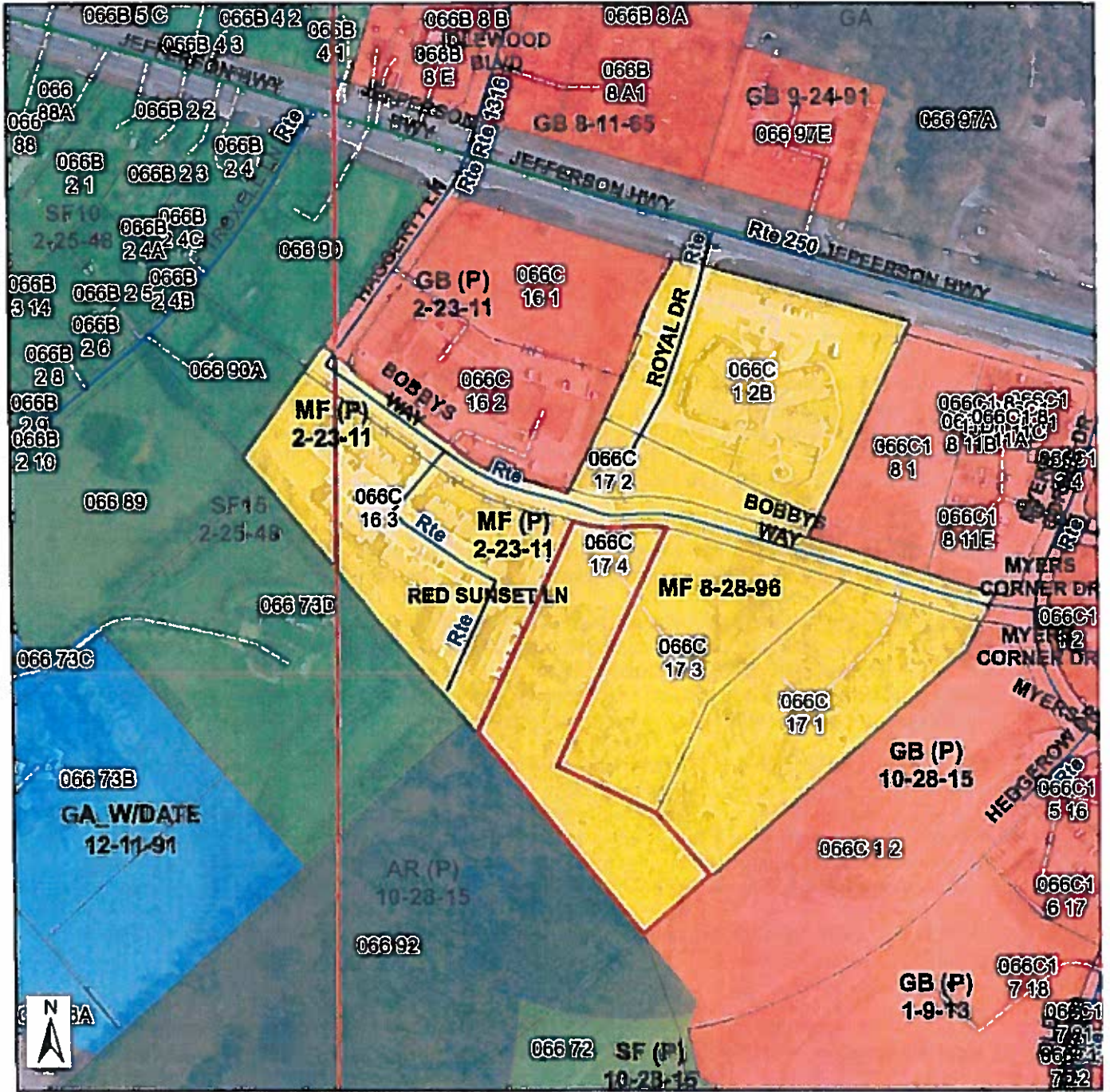
The above-referenced development is located in a Revitalization Area in Augusta County, Virginia. The revitalization area is (i) either (1) blighted, deteriorated, deteriorating or, if not rehabilitated likely to deteriorate by reason that the buildings, improvements or other facilities in such area are subject to one or more of the following conditions- dilapidation, obsolescence, overcrowding, inadequate ventilation, light or sanitation, excessive land coverage, deleterious land use, or faulty or otherwise inadequate design, quality or condition, or (2) the industrial, commercial or other economic development of such area will benefit the county but such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational, entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area, and (ii) private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in such area and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area.

**Timothy Fitzgerald
County Administrator**

ATTEST:

County Attorney

Resolution adopted by the Board of Supervisors of Augusta County, Virginia, the ___ day of February, 2020.



1 inch = 260 feet



WODA COOPER COMPANIES

614.396.3200
www.wodagroup.com
500 South Front St
10th Floor
Columbus, Ohio 43215

February 18, 2020

Board of Supervisors of Augusta County
18 Government Center Lane, P.O. Box 590
Verona, VA 24482

Re: Revitalization Resolution for Proposed Housing Development

Board of Supervisors,

Woda Cooper Development, Inc. (Woda Cooper) proposes the development of an 80-unit multifamily community on 4.3 acres at 843 Jefferson Highway, Staunton, VA 24401. Named Cardinal Meadows, the newly constructed 4-story building will have 64 two-bedroom units and 16 three-bedroom units and an elevator for full access to all floors. Rents will be affordable and targeted to hard-working singles, families and seniors. Woda Management & Real Estate will manage the property.

Cardinal Meadows will have appealing indoor and outdoor amenities including air conditioning, dishwashers, Energy Star appliances, and water-saving features. When completed, the development will qualify for Earthcraft Gold Certification. The Total Development Cost will be approximately \$16.3 Million.

Funding for the Cardinal Meadows will come from a combination of housing tax credits, permanent debt and owner equity. To receive funding, our tax credit provider (Virginia Housing Development Authority) and investors prefer we establish developments in designated revitalization areas within the Commonwealth. Simply, a revitalization area is an area that is undergoing or has the potential for economic development/growth but does not have adequate affordable housing needed to induce growth/investment in the area.

Woda Cooper's development team respectfully requests that the Augusta County Board of Supervisors officially designate by resolution the Cardinal Meadows site and adjacent commercial parcel as a revitalization area. The proposed language for this resolution is attached and reflects the exact wording necessary to receive the funding for this approximately \$16.3 Million development. If funded, the Cardinal Meadows development will include infrastructure improvements that will catalyze new development on adjacent parcels including the commercial development conceived by Rolling Ridge, LLC.

I look forward to the February 26th Board meeting when I can further explain the development and answer questions.

Sincerely,

P. Craig Patterson
Senior Vice President
cpatterson@wodagroup.com
cc. Frank Root

**A REVITALIZATION RESOLUTION CONCERNING
THE CARDINAL MEADOWS APARTMENT PROJECT**

WHEREAS, PURSUANT TO Section 36-55.30:2.A of the Code of Virginia of 1950, as amended, the Board of Supervisors of the County of Augusta, Virginia, desires to designate the area (the "Area") described on Exhibit A attached hereto as a revitalization area:

NOW, THEREFORE, BE IT HEREBY DETERMINED as follows:

The above-referenced development is located in a Revitalization Area in the County of Augusta, Virginia. The industrial, commercial or other economic development of such area will benefit the county but such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational, entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area; and private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in such area and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area.

NOW, THEREFORE, BE IT HEREBY RESOLVED that pursuant to Section 36-55.30:2.A of the Code of Virginia of 1950, as amended, the Area is hereby designated as a revitalization area.

Adopted by the Board of Supervisors of the County of Augusta, Virginia, on the 26th day of February 2020.

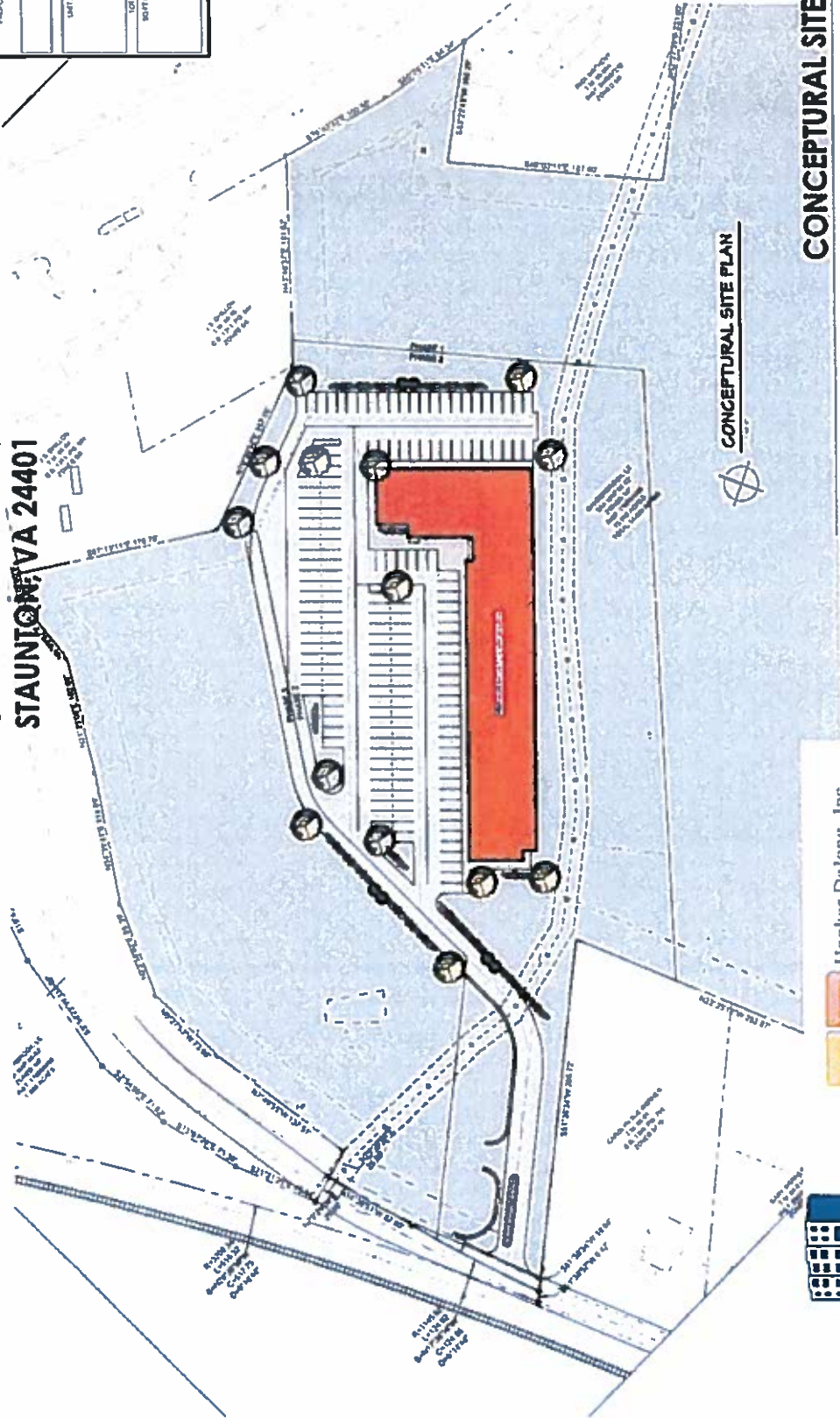
Woda Cooper's Site Plan for Cardinal Meadows

WODA AUGUSTA

843 JEFFERSON HWY,
STAUNTON, VA 24401

PROJECT INFORMATION	
PROPOSED BUILDING: 6 CONSTRUCTION LAMINATED PLASTER	
UNIT AREA (SQ. FT.)	NO. OF UNITS
1ST FLOOR	14
2ND FLOOR	14
3RD FLOOR	14
4TH FLOOR	14
TOTAL	56
TOTAL FINISHED SPACES:	
1ST FLOOR	34,000
2ND FLOOR	34,000
3RD FLOOR	34,000
4TH FLOOR	34,000
TOTAL	136,000

JANUARY 30, 2020



CONCEPTUAL SITE PLAN | CSP.1

WODA AUGUSTA
AS ATTACHED
STAMPED
JANUARY 30, 2020

H D J
Hnoker DeLong, Inc.
Architects/Engineers/Planners



WODA COOPER COMPANIES

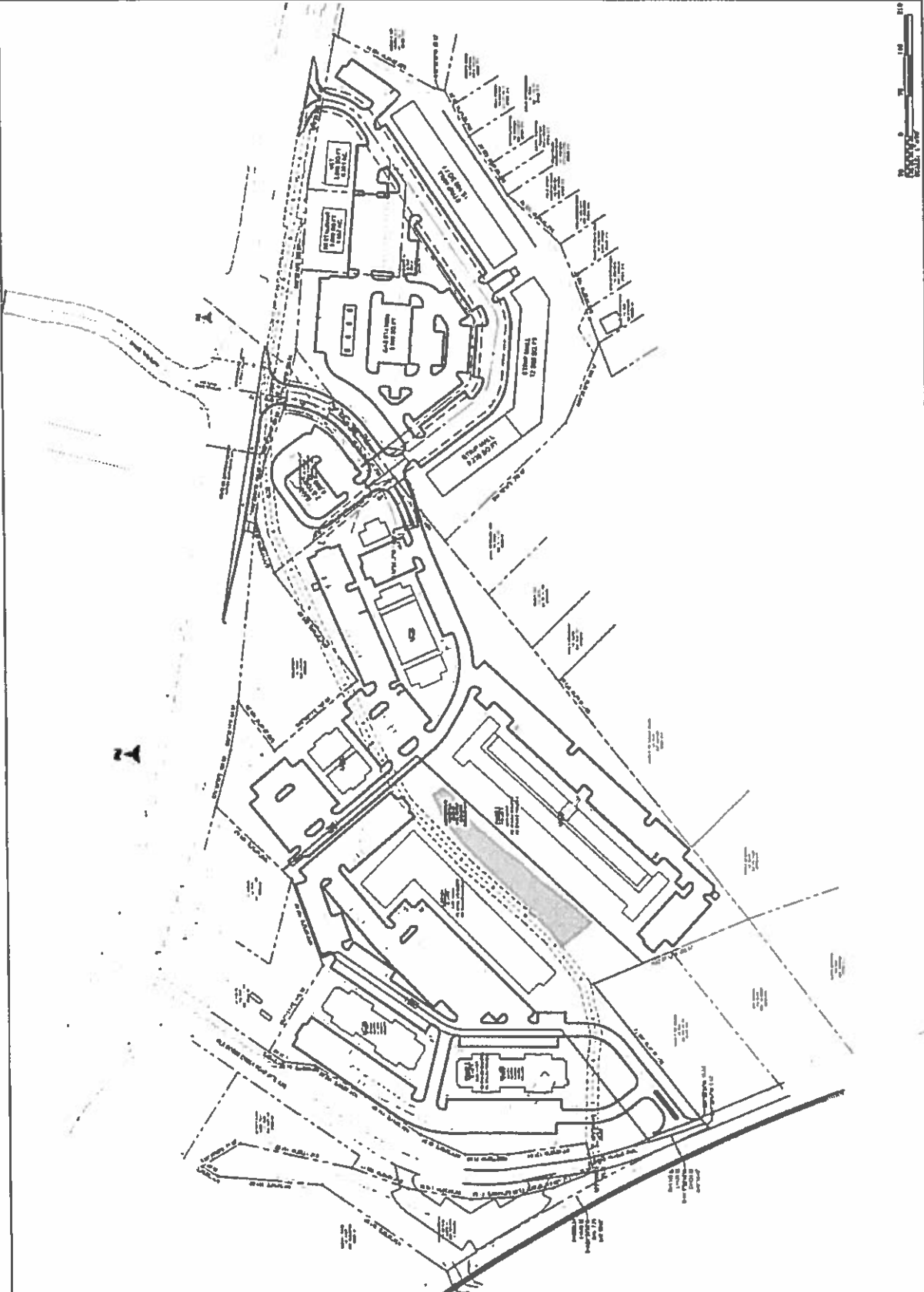
Site Plan Including Rolling Ridge, LLC's Commercial Concept

DATE	2/28/12
BY	...
SCALE	AS SHOWN

CountrySide Service Company, L.C.
28 IMPERIAL DRIVE • STAUNTON • VIRGINIA • 24401
PHONE (540) 886-6155 • FAX (540) 886-6154

GANDERBROOK AND BRANDSGATE
WATKINS INDUSTRIAL DISTRICT
AUGUSTA COUNTY, VIRGINIA
SITE EXHIBIT

NO.	DESCRIPTION	DATE



NOTICE OF PUBLIC HEARING

In accordance with Section 15.2-1800 of the Code of Virginia, the Board of Supervisors of Augusta County shall hold a public hearing on Wednesday, February 26, 2020, at 7:00 p.m. in the Board Meeting Room, Augusta County Government Center, Verona, Virginia, to consider authorizing the lease of the property owned by Augusta County, Virginia, located at 111/113 South Augusta Street in the City of Staunton, VA. Questions concerning the properties should be directed to County Administration at 540-245-5610.



17 ROMAINE LANE
PO BOX 29
STUARTS DRAFT, VA 24477

(540) 337-1286 OFFICE
(540) 337-4085 FAX

*WE APPRECIATE
YOUR BUSINESS*

Invoice

Bill To
Stuarts Draft Ruritan Club Bill Robertson P O Box 881 Stuarts Draft, VA 24477

Date	Invoice #
12/16/2019	60801
P.O. No.	Terms
	Net 10 Days

Payment is due per invoice terms. A finance charge of 2% per month will be added to all unpaid balances. Failure to meet terms which result in legal action will be subject to all costs of collection including attorney fees. A fee of \$50.00 will be charged for all returned checks.

Quantity	Description	U/M	Rate	Amount
8.25	Schnieder Park - Water Leak		90.00	742.50
8.25	Hours Mini Trackhoe		47.50	391.88
	Hours Laborer		206.00	206.00
	Materials			

We accept all major credit cards. A 3% Surcharge will be added to all credit card payments.

Total \$1,340.38



17 ROMAINE LANE
 PO BOX 29
 STUARTS DRAFT, VA 24477

(540) 337-1286 OFFICE
 (540) 337-4005 FAX

**WE APPRECIATE
 YOUR BUSINESS**

Invoice

Bill To
Stuarts Draft Ruritan Club Bill Robertson P O Box 881 Stuarts Draft, VA 24477

Date	Invoice #
12/17/2019	60802
P O No	Terms
	Net 10 Days

Payment is due per invoice terms. A finance charge of 2% per month will be added to all unpaid balances. Failure to meet terms which result in legal action will be subject to all costs of collection including attorney fees. A fee of \$50.00 will be charged for all returned checks.

Quantity	Description	U/M	Rate	Amount
	Schneider Park - Water Leak			
3	Hours Mini Trackhoe		90.00	270.00
3	Hours Laborer		47.50	142.50
	Materials		125.00	125.00
We accept all major credit cards. A 3% Surcharge will be added to all credit card payments.			Total	\$537.50



COUNTY OF AUGUSTA
COMMONWEALTH OF VIRGINIA
DEPARTMENT OF COMMUNITY DEVELOPMENT
P.O. BOX 590
COUNTY GOVERNMENT CENTER
VERONA, VA 24482-0590



MEMORANDUM

TO: Board of Supervisors
FROM: Leslie Tate, Senior Planner *Leslie*
DATE: February 14, 2020
SUBJECT: Consideration to release Ordinance Review Committee recommendation for amendments to the Noise Control ordinance for public hearing

Below is a brief description of the recommended ordinance amendments. Staff requests that the Board review and release to advertise the amendments for public hearing.

- Chapter 15. Nuisances. Article I. Noise Control.
 - Amendment clears up language for testing and validating of a sound level metering device. The Sheriff's Office and the Commonwealth's Attorney Office suggested amendments.
 - Amendment adds a new specific regulation for sound producing and sound re-producing devices, setting the maximum dBA at 65 during all times.
 - For all other types of noise, unless exempted, the amendment changes the hours of enforcement from 12 p.m. to 6 a.m. to 11 p.m. to 6 a.m.
 - Amendment prohibits, throughout Augusta County, the use of air cannons or carbide cannons, or other loud explosive devices which are designed to produce high intensity sound percussions, specifically for the purpose of repelling birds.
 - Amendment changes the penalty of violations of the ordinance from a class II to a class III misdemeanor.

Attached is a draft/redline the ordinance amendments which have been recommended by the Ordinance Review Committee.

Staunton (540) 245-5700

TOLL FREE NUMBERS

Waynesboro (540) 942-5113

From Deerfield (540) 939-4111

From Bridgewater, Grottoes

Harrisonburg, Mt. Solon & Weyers Cave (540) 828-6205

FAX (540) 245-5066

CHAPTER 15. NUISANCES.

ARTICLE I. Noise Control.

§ 15-1. Short title; scope.

§ 15-2. Declaration of findings and policy.

§ 15-3. Definitions.

§ 15-4. Administration and enforcement.

§ 15-5. Use of sound level meters.

§ 15-6. Procedure for testing and validating metering devices.

§ 15-7. Maximum sound levels in County.

§ 15-8. Exemptions.

§ 15-9. Unnecessary Noises Enumerated.

§ 15-10. Emergency exception.

§ 15-11. Penalties and violations.

§ 15-12. through § 15-20. Reserved.

CHAPTER 15. NUISANCES.

ARTICLE I. Noise Control.

§ 15-1. Short title; scope.

This article may be cited as the "Noise Control Ordinance of the County of Augusta." It shall be applicable to the control of noises originating within the county limits.

State law reference--Virginia Code § 15.2-1200; Acts of Assembly, 1990, Chapter 699, pg. 1049.

§ 15-2. Declaration of findings and policy.

The board of supervisors hereby finds and declares that excessive sound is a serious hazard to the public health, welfare, peace and safety, and the quality of life; that a substantial body of science and technology exists by which excessive sound may be substantially abated; that the people have a right to and should be ensured an environment free from excessive sound that may jeopardize the public health, welfare, peace and safety or degrade the quality of life; and that it is the policy of the county to prevent such excessive sound by prescribing the decibel levels, degrees, and types of sound which shall be unacceptable in the county.

§ 15-3. Definitions.

The following terms, when used in this article, shall have the meanings hereinafter ascribed to them, unless otherwise clearly indicated by the context:

(a) A-weighted sound level. The sound pressure level in decibels as measured on a sound level meter using the A-weighting network. The level so read is designated dB(A) or dBA.

(b) Decibel (dB). A unit for measuring the volume of a sound, equal to twenty times the logarithm to the base ten of the ratio of the pressure of the sound measured to the reference pressure, which is twenty micropascals (twenty micronewtons per square meter).

(c) Emergency. Any occurrence or set of circumstances involving actual or imminent physical trauma or property damage which demands immediate action.

(d) Emergency Work. Any work performed for the purpose of preventing or alleviating the physical trauma or property damage threatened or caused by an emergency.

(e) Noise. Any sound which annoys or disturbs humans or which causes or tends to cause an adverse psychological or physiological effect on humans.

(f) Property boundary. An imaginary line along the ground surface, and its vertical extension, which separates the real property owned, leased or otherwise legally controlled by one person from that owned, leased or otherwise legally controlled by another person, including intra-building real property divisions.

(g) Sound. An oscillation in pressure, particle displacement, particle velocity or other physical parameter, in a medium with internal forces that causes compression and rarefaction of that medium. The description of sound may include any characteristic of such sound, including duration, intensity and frequency.

(h) Sound level. The weighted sound pressure level obtained by the use of a sound level meter and the A-frequency weighting network, as specified in American National Standards Institute specifications for sound level meters.

(i) Sound level meter. An instrument which includes a microphone, amplifier, RMS detector, integrator or time averager, output meter and weighting networks used to measure sound pressure levels.

§ 15-4. Administration and enforcement.

The noise control program established by this article shall be enforced and administered by the sheriff's department with the assistance of other county departments as required.

§ 15-5. Use of sound level meters.

In order to enforce this article, the decibel level of any noise may be measured by the use of a sound level meter which measures sound pressure levels.

§ 15-6. Procedure for testing and validating metering devices.

A. Any individual operating a sound level meter pursuant to the provisions of the Noise Control Ordinance of the County of Augusta shall ~~issue a certificate which will indicate:~~

1. Field calibrate the unit before and after the evidentiary reading.

2.1. Ensure t~~That~~ the sound level meter used to take the decibel level reading is~~was~~ operated in accordance with the manufacturer's specifications;

3. File, in the courts, ~~That the county has on file~~ an attested document from the manufacturer which states that the sound level meter has been tested within the past twelve months and has been found to be accurate;

3.2. 4. Record, t~~The name of the accused,;~~ the location of the noise, the date and

time that the reading was made, and the decibel reading, and cause a report to be generated by uploading the data recorded by the sound meter.

4. The location of the noise;

~~5. The date and time that the reading was made; and~~

~~6. The decibel level reading.~~

~~B. The certificate, as provided for in this section, when duly attested by the operator taking the decibel level reading, shall be admissible in any court in any criminal or civil proceeding as evidence of the facts therein stated and of the decibel level reading. Any such certificate purporting to be signed by the operator shall be admissible in evidence without proof of seal or signature of the person whose name is signed to it. A copy of such certificate shall be delivered to the accused upon his or his attorney's request.~~

§ 15-7. Maximum sound levels in County.

~~(a) Sound producing and sound-reproducing devices. The use operation or playing of any radio, phonograph, television, record, compact disc, tape, digital music, MP3 or DVD player, musical instrument, loudspeaker, sound amplifier or other machine or device capable of producing or reproducing sound, regardless of where such sound-producing or sound re-producing machine or device is located, whether indoor or outdoor, in such a manner or with such volume that it exceeds 65dBA at the property line, from which the sound emanates, shall be a violation of this article.~~

~~(a)(b) In all other cases, nNo person shall permit, operate or cause any source of sound from leisure and recreational activities to exceed create a sound level of 65dBA, when measured at or outside the property boundary, from which the sound emanates, during the hours between 11:00 p.m. 12:00 midnight and 6:00 a.m. in excess of 65 dBA when measured at or outside the property boundary.~~

~~(b)(c) Measurements in multi-family structures. In a structure used as a multi-family dwelling the Sheriff's department may take measurements to determine such sound levels from common areas within or outside the structure or from other dwelling units within the structure, when requested to do so by the owner or tenant in possession and control thereof. Such measurement shall be taken at a point at least four feet from the wall, ceiling or floor nearest the noise source, with doors to the receiving area closed and windows closed, in the normal position for the season.~~

§ 15-8. Exemptions.

~~Unless otherwise prohibited elsewhere in this article, tThe following activities or sources of noise shall be exempt from the prohibitions set forth in § 15-7 of this article:~~

- ~~(1) Business, manufacturing, construction or agricultural operations.~~
- ~~(2) Activities for which the regulation of noise has been preempted by federal law.~~

§ 15-9. Unnecessary Noises Enumerated.

The following acts, among others, are declared to be loud, disturbing and unnecessary noises in violation of this Article, but such enumeration shall not be deemed to be exclusive:

A. Barking Dogs

1. It shall be unlawful to own, keep, possess or harbor any dog on property zoned Single Family Residential, Attached Residential, Multi-family Residential, Manufactured

Home Park or Planned Unit Development which by loud, frequent or habitual barking or howling or by other conduct likely to cause annoyance and disturb the peace and quiet of any person or neighborhood between the hours of 12 midnight and 6 a.m., which loud, frequent or habitual barking or howling or other conduct is heard or observed by any animal control officer, other officer or other person,, shall be unlawful, and any such dog is hereby declared to be a public nuisance.

2. Any citizen having sufficient evidence of violation of one or more of the prohibitions set out in the section above may present such evidence and make affidavit to the Augusta County Magistrate and request issuance of a summons or warrant based thereon. Corroboration of the alleged violation by the sheriff's department or the animal control officers shall not be necessary in order for a citizen to pursue a summons or warrant against another person for such violation. In no event shall this section be construed as a limitation or restriction of any person's right to access the courts or to seek the abatement of violations of this article by any lawful means.

A.B. Air cannons, carbide cannons, or other loud explosive devices which are designed to produce high intensity sound percussions for the purpose of repelling birds are prohibited in all zoning districts (Code of Virginia – 15.2-918).

(Ord. 12/10/14, effective 1/1/15)

§ 15-10. Emergency exception.

No provisions of this article shall apply to the emission of sound for the purpose of alerting persons to the existence of an emergency, or the emission of sound in the performance of emergency work.

§ 15-11. Penalties and violations.

~~A. Any person who violates Section 15-9 of this article shall be fined \$100 for the first offense, \$250 for the second offense within a twelve month period, and \$500 for the third and subsequent offenses within a twelve month period.~~

B.A. Any person who violates any ~~other~~ provision of this article shall be deemed to be guilty of a class II~~I~~ misdemeanor.

~~C. Each day of violation of any provision of this article shall constitute a separate offense.~~

D.B. The person operating or controlling a noise source shall be guilty of any violation caused by that source. If that person cannot be determined, any owner, tenant or resident physically present on the property where the violation is occurring is rebuttably presumed to be guilty of the violation.

(Ord. 12/10/14, effective 1/1/15)

§ 15-12 through § 15-20. Reserved.

**COUNTY OF AUGUSTA
STAFF REPORT
Jason A. /Kimberly D. Almarode/
Dylan R. Campbell
February 11, 2020
Amended February 12, 2020**

SUMMARY OF REQUEST: A request to rezone from Single Family Residential 10 to General Agriculture approximately 10.5 acres (TMP 85-121) owned by Jason A. and Kimberly D. Almarode and Dylan R. Campbell located on the west side of Mt. Torrey Road (Rt. 664) approximately 0.3 miles south of the intersection of Nursery Road (Rt. 664) and Mt. Torrey Road in Lyndhurst in the South River District. The proposed general use of the property is agriculture. The general use of the property stated in the Comprehensive Plan is Low Density Residential, which may include detached residential units at a density of between one-half and one dwelling unit per acre.

VICINITY ZONING: Single Family Residential 10 zoning to the north, east, and south. General Agriculture zoning to the west.

CURRENT ZONING: Single Family Residential 10 (1962)

COMPREHENSIVE PLAN PLANNING POLICY AREA/FUTURE LAND USE DESIGNATION: Community Development Area/Low Density Residential

COMMENTS FROM ENGINEER:

Environment Ordinance Considerations

The county has received complaints of standing water between this property and Mt Torrey Rd during periods of high rainfall due to sinkholes on and near this property. Some of these are identified on the attached map. The applicant is advised to consult a geologist to determine the extent of the sink activity and a determination of the suitability of the site for whatever uses are proposed whether or not the property is rezoned. Any required drainage calculations for the sink area must conform to DCR SWM Technical Bulletin #2, "Hydrological Modeling and Design in Karst".

Western portions of this property likely drain toward the South River which is listed on the Virginia DEQ Draft 2018 Impaired Waters List. This impaired segment extends from its confluence with Stony Run downstream to its confluence with the Back Creek. The impaired use is recreation, the specific impairment is E. coli., The sources of the impairment are wildlife other than waterfowl, non-point sources and agriculture. Numerous TMDLs have been approved for this segment for each of the impairments and must be considered by the applicant.

Eastern portions of this property drain to Back Creek which is listed on the Virginia DEQ Draft 2018 Impaired Waters List. This impaired segment extends from the headwaters downstream to its confluence with South River. The impaired uses are aquatic life and recreation, the specific impairment is violations of the general standard for benthics and E. coli. The sources are agriculture, non-point sources and wildlife other than waterfowl.

Additionally, the Augusta County Comprehensive Plan lists both the South River – Canada Run and the Back Creek – Inch Branch watersheds as Priority Watersheds for Groundwater Protection due to the presence of karst features and the location of Source Water Assessment Program zones.

Overlay Ordinance Considerations

This property lies outside of the Source Water Protection Overlay (SWPO).

This property lies outside of the Airport Overlay District (APO).

This property lies within Zone X on the FEMA FIRM and therefore is outside the Special Flood Hazard Area and not subject to the Floodplain Overlay (FPO) Ordinance.

This property lies outside of the Urban Service Overlay District (USO).

Subdivision Ordinance Considerations

§21-9.1 Subsection B of the County Subdivision Ordinance addresses street layout and access to adjacent property. Development is required to connect to existing or planned streets and must also provide for access to adjacent property that is located with areas designated in the Comprehensive Plan as Urban Service or Community Development Areas. As currently planned and zoned, this property is expected to connect to adjacent undeveloped properties to the north and south.

Natural Resources Recommendations from the Comprehensive Plan

The Augusta County Comprehensive Plan recommends performance standards to protect natural resources. In Community Development Areas, for unique natural features such as caves, major karst features, critical habitats, etc., the Comprehensive Plan recommends to tie these features in with greenways, active and passive recreation areas and flood plain preservation areas.

COMMENTS FROM ZONING ADMINISTRATOR: The property is surrounded by agricultural and residentially zoned property. If the property is rezoned to General Agriculture, the adjoining Single Family Residential zoned properties could be negatively impacted due to noise, dust, and odor associated with by-right agricultural operations, and Special Use Permits that could be obtained for business uses such as motor vehicle repair, junkyard/salvage yard or dog kennels. Zoning does not feel the request would adversely affect the adjacent parcels currently zoned General Agriculture.

COMMENTS FROM ACSA:

1. Water and sewer capacities are not reserved until system adequacy is determined (supply, treatment, transmission) and payment of the connection fees has been received in accordance with Service Authority Policy. Augusta County Service Authority Policies and Procedures can be found at <http://www.acsawater.com/oppm>.
2. Any engineering evaluations and upgrades or extensions would be the responsibility of the owner/developer and are subject to Service Authority review and approval.
3. Investigation of available fire flow is recommended to ensure that the system is capable of providing the needed fire flow to comply with Chapter 24 of the Augusta County Code requirements for the proposed use of the property. Any upgrades or extensions would be the responsibility of the owner/developer and are subject to Service Authority review and approval.
4. There is an existing 10" waterline along Mt. Torrey Road across from the subject parcel.
5. There is no public sewer available in the area of the subject parcel.

COMMENTS FROM HEALTH DEPARTMENT: The health department has no issues with the rezoning request.

COMMENTS FROM FIRE-RESCUE: Fire-Rescue sees little to no impact on service delivery from this request.

TRAFFIC:

Rt. 664 Mt. Torrey Road

- AADT: 2,800 vpd (2018)
- Posted Speed Limit: 35 mph
- K-factor: 0.097; Dir. Factor: 0.577
- Functional Class.: Major Collector

COMMENTS FROM VDOT:

1. The rezoning is not expected to have a substantial impact to existing roadways and would therefore not warrant a Chapter 527 Traffic Impact Analysis. The expected use is farming related activities.
2. Any entrance must be designed and constructed in accordance with VDOT requirements in Appendix F of the Road Design Manual.
 - The existing entrance to Mt. Torrey Road is a private entrance. It has adequate sight distance; however, the entrance may need to be upgraded to accommodate agricultural related vehicles.

SCHOOL BOARD STAFF COMMENTS: : The request for a change of approximately (10.5) acres from Single Family 10 to General Agriculture will have no significant impact on these three (3) schools.

The table below indicates the enrollment as of December 3, 2019

<i>School</i>	<i>Enrollment</i>	<i>Capacity</i>
Stuarts Draft Elem	595	834
Stuarts Draft Middle	557	960
Stuarts Draft High	702	940

COMMUNITY DEVELOPMENT STAFF COMMENTS:

PROS

1. Request is compatible with adjacent General Agriculture zoning to the west.
2. With the presence of standing water during high rainfall events, this parcel may not be suitable for residential development.

CONS

1. Request is not in compliance with the Augusta County Comprehensive Plan Future Land Use Map which designates the property for future low density residential development.
2. Request may not be compatible with adjacent Single Family Residential 10 zoning to the north, east, and south of the subject parcel.
3. An agricultural operation, with significant animal waste, may have a negative impact on water resources due to the underlying geology of the property.

COMMUNITY DEVELOPMENT STAFF RECOMMENDATION: The applicant has indicated that they may want to have a small swine operation; however, if rezoned to General Agriculture, they could have any type of agricultural use,

which may have a significant impact on the adjacent property owners zoned Single Family Residential.

The applicant has also indicated that the reason for the rezoning is to permit the construction of a barn, for storage of equipment, prior to an established primary dwelling structure. In order to construct a barn, prior to establishing a principal dwelling, the applicant will need to be farming the property in order to establish the agricultural use and the structure will need to be used to store farm equipment, not equipment for personal/recreational use and/or any off-site business.

Regardless of the reason for requesting the rezoning, staff does not recommend approval as the area has developed residentially and is planned for low-density residential development. If the property owner was interested in some type of small-scale, minimally impactful agriculture use, then they could apply for a Special Use Permit for limited agriculture; although, such permit specifically precludes poultry and swine.

Staff recognizes the desire of the landowner to have their land zoned in such a way that affords them the most flexibility and range of permit options, but staff feels that the request could have negative impacts on surrounding property zoned residentially since 1962.

PLANNING COMMISSION RECOMMENDATION: The Planning Commission recommends denial of the request.

Almarode Property



2/12/2020

ORDINANCE

A request to rezone from Single Family Residential 10 to General Agriculture approximately 10.5 acres (TMP 85-121) owned by Jason A. and Kimberly D. Almarode and Dylan R. Campbell located on the west side of Mt. Torrey Road (Rt. 664) approximately 0.3 miles south of the intersection of Nursery Road (Rt. 664) and Mt. Torrey Road in Lyndhurst in the South River District.

AN ORDINANCE to amend Chapter 25 "Zoning" of the Code of Augusta County, Virginia.

WHEREAS, application has been made to the Board of Supervisors to amend the Augusta County Zoning Maps,

WHEREAS, the Augusta County Planning Commission, after a public hearing, has made their recommendation to the Board of Supervisors,

WHEREAS, the Board of Supervisors has conducted a public hearing,

WHEREAS, both the Commission and Board public hearings have been properly advertised and all public notice as required by the Zoning Ordinance and the Code of Virginia properly completed,

WHEREAS, the Board of Supervisors has considered the application and record, the Planning Commission recommendation and the comments presented at the public hearing,

WHEREAS, the Board of Supervisors has determined that the public necessity, convenience, general welfare, and good zoning practice requires such amendment;

NOW THEREFORE BE IT ORDAINED, by the Board of Supervisors that the Augusta County Zoning Maps be amended as follows:

The zoning for the following Tax map 85 parcel 121 containing approximately 10.5 acres be changed from Single Family Residential 10 to General Agriculture.



COUNTY OF AUGUSTA
COMMONWEALTH OF VIRGINIA
DEPARTMENT OF COMMUNITY DEVELOPMENT
P.O. BOX 590
COUNTY GOVERNMENT CENTER
VERONA, VA 24482-0590



MEMORANDUM

TO: Board of Supervisors
FROM: Leslie Tate, Senior Planner
DATE: February 14, 2020
SUBJECT: Presentation of Planning Commission approved Stuarts Draft Small Area Plan

Attached is a copy of the Planning Commission approved Stuarts Draft Small Area Plan for your review.

Staff presented a draft of the Plan to the Board in October of 2019 and the Board directed staff to schedule public hearings. The Planning Commission tabled the Plan after holding their public hearing. However, since then, the Planning Commission approved the Plan at their meeting on January 14, 2020.

With the addition of new Board members since the last presentation of a draft of the Plan to the Board, staff will be presenting the highlights of the Plan to you at your staff briefing on February 24, 2020. Staff is requesting that the Board review the draft plan and provide any comments/concerns you may have. Staff is requesting that the Board direct staff to schedule a public hearing for Board of Supervisors consideration of the Plan.

As you are well aware, this planning process has been over 2.5 years and is the culmination of hard work and devotion from elected officials, citizens, members of the appointed advisory committee, consultants, and staff. We look forward to your review of the plan.



2019-2039

Stuarts Draft Small Area Plan



Leslie C. Tate, Senior Planner
Department of Community Development
2019-2039

Augusta County, Virginia

Board of Supervisors

Carolyn S. Bragg
G.L. "Butch" Wells
Michael L. Shull
Gerald W. Garber
Wendell L. Coleman
Marshall W. Pattie
Pam Carter

South River District
Beverley Manor District
Riverheads District
Middle River District
Wayne District
North River District
Pastures District

Planning Commission

Stephen N. Bridge
Gregory W. Campbell
Gordon Kyle Leonard, Jr.
Kitra Shiflett
James Walter Curd
Larry Howdysshell
E. Thomas Jennings, Jr.

County Administrator
Timothy Fitzgerald

Assistant County Administrator
Jennifer Whetzel

Director of Community Development
John Wilkinson

Senior Planner
Leslie Tate

Stuarts Draft Small Area Plan Advisory Committee

Stephen Bridge
Liz Briley
Bill Brooks
Dr. June Cohron
Dave Covington

Patsy Earhart
Gary Eavers, Sr.
Gary Lee Eavers
Steve Fitzgerald
Orvin Kiser

Nancy Rader
James Snyder
John Swett, Sr.
Ben Yoder

Transportation consulting assistance provided by:
Timmons Group

Stuarts Draft Small Area Plan
Augusta County, Virginia
 Adopted ____ __, 2019

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I. Introduction and Background

A. Overview

The creation and adoption of the Stuarts Draft Small Area Plan is a policy recommendation of the 2014/2015 Augusta County Comprehensive Plan Update included in both the "Land Use and Development" and "Transportation" chapters.

Small area plans provide additional, detailed planning efforts for Urban Service and Community Development Areas due to their current growth pattern and projected future growth. These plans create recommendations for "the layout of the transportation network, infrastructure improvements, the appropriate arrangement of land uses, and designation of appropriate areas for public facilities such as schools, parks, fire and rescue stations, libraries, and other civic uses" (pg. 46)¹.

The Stuarts Draft Small Area Plan begins with a thorough discussion of its relationship to the Comprehensive Plan. Following this is an historical account of the community, a description of the land uses and geographic features of the small area, and estimates of the community's current population and future population projections.

After the introductory sections, the central elements of the Plan begin with sections on the 20-year vision for Stuarts Draft, the Stuarts Draft Future Land Use Map, and the Stuarts Draft Transportation Plan. Multiple topic areas follow including: land use and goals, objectives, and policies for specific plan topic areas. The Plan concludes with an implementation strategy for the identified policies.

B. Planning Process/Public Involvement

This Plan is the culmination of 2.5 years of dedicated collaboration among County citizens, elected and appointed officials, staff, and consultants. As identified in the previous section, the Stuarts Draft Small Area Plan is the product of a more detailed, community-driven, location specific analysis of a growth area identified in the Augusta County Comprehensive Plan.

¹ Augusta County Comprehensive Plan 2014/2015 Update. Adopted August 26, 2015.



The Augusta County Board of Supervisors appointed an advisory committee for the planning process in early 2017. County staff and the advisory committee began meeting in April of 2017. At their initial meeting, the advisory committee worked on identifying strengths, weaknesses, visioning, sense of place, etc. for the Stuarts Draft community.

Figure 1. Public Meeting Notice (June 8, 2017)

Stuarts Draft Small Area Plan

Public Meeting Notice:

Do you live in the Stuarts Draft area? Are you interested in helping to plan the community's future? If so, please plan to attend the first in a series of public meetings on the Stuarts Draft Small Area Plan. You are receiving this postcard because you are a property owner of land within the Stuarts Draft Small Area Plan boundary. The purpose of this meeting will be to gather input from the public on their vision for the development of Stuarts Draft. The meeting will begin at 6.30 with a brief presentation of the planning process. Following the presentation will be the opportunity to provide comments/input through various questionnaires and mapping activities. To stay involved throughout the planning process, please check the newspaper, Augusta County website, or call the number below for future meeting dates. The meeting will be held:

JUNE 8, 2017
Stump Elementary School
6:30 – 8:30 p.m.

For more information, contact Leslie Tate at (540) 245-5700 or ltate@co.augusta.va.us

To garner public input in the planning process from an early stage, a public meeting was held on June 8, 2017 to get the public's feedback on a draft vision statement, areas of interest and importance within the community, and an aesthetic/visual preference survey related to various development forms.

Staff mailed a postcard to all landowners within the Stuarts Draft Small Area Plan boundary notifying them of the June 8th meeting. In addition, the meeting was advertised in the newspaper and a press release sent to various local news outlets. The meeting was well attended with ninety-three individuals signing in.

After getting feedback from the public, the Advisory Committee continued to meet monthly to refine the vision statement, make recommended amendments to the Future Land Use Map, identify areas where infrastructure deficiencies currently inhibit development, and identify areas for bike/pedestrian improvements.



Timmons Group, transportation consultant for this Plan, was contracted by the County in January 2018. The Advisory Committee worked with Timmons Group to identify areas of particular interest and review preliminary recommendations and findings for those interests.

On March 15, 2018, another public input meeting was held on the above referenced progress of the Advisory Committee. In order to ensure a high level of public awareness at a critical stage in the planning process, another postcard was mailed to all landowners within the plan boundary. The March 2018 meeting was also very well attended with ninety-one people signing in.

Figure 2. Public Meeting Notice (March 15, 2018)

Stuarts Draft Small Area Plan

Public Meeting Notice:

Please plan to attend the second in a series of public meetings on the Stuarts Draft Small Area Plan. The purpose of this meeting will be to present drafts of the Future Land Use Map, transportation recommendations, and Goals/Objectives/Policies and gather input from the public. The meeting will be an open house style, affording attendees the opportunity to provide comments/input through various questionnaires and comment forms related to posters and maps that will be set up for viewing. To stay involved throughout the planning process, please check the newspaper, Augusta County website, or call the number below for future meeting dates. The meeting will be held:

MARCH 15, 2018
Stuarts Draft Middle School
6:00 – 8:00 p.m.

For more information, contact Leslie Tate at (540) 245-5700 or ltate@co.augusta.va.us

From March 2018 until mid-2019, staff compiled the work of the public involvement processes, Advisory Committee, and transportation consultant into this final Plan.

C. Augusta County Comprehensive Plan 2007-2027 & 2014/2015 Update

The Augusta County Comprehensive Plan 2007-2027 and Augusta County Comprehensive Plan Update 2014/2015 influence development of the County as a whole, including the Stuarts Draft area. The foundational planning tool found in the Comprehensive Plan is the Planning Policy Area/Future Land Use Map. This map divides



the County into four Planning Policy Areas in addition to the public lands of the National Parks and National Forests. It further designates the land located in the Urban Service and Community Development Areas into future land use categories. Each of these different classifications is detailed below.

1. Comprehensive Plan Planning Policy Areas

The four Planning Policy Areas in the Comprehensive Plan include:

- Urban Service Areas (targeted for 80% of future residential growth)
- Community Development Areas (targeted for 10% of future residential growth)
- Rural Conservation Areas (targeted for 5% of future residential growth)
- Agricultural Conservation Areas (targeted for 5% of future residential growth)

The Urban Service Areas (USA) and the Community Development Areas (CDA) are the County's "development areas," where the majority of future development is expected to occur. The USA is expected to accommodate 80 percent of future residential development as well as most future non-residential development. These are areas that have a relatively substantial amount of existing development, public utilities and facilities, substantial amounts of developable land, and good transportation access. The CDA is expected to accommodate 10 percent of future residential development and a portion of future non-residential development. These are areas less-densely developed than the Urban Service Areas as Community Development Areas include development on public water or public sewer but not both.

The Rural Conservation Areas (RCA) and the Agricultural Conservation Areas (ACA) are expected to each accommodate 5 percent of future residential development at generally low densities due to the fact that neither has public water or sewer services. The Rural Conservation Areas are those that have already been substantially subdivided and/or developed with residential uses, while the Agricultural Conservation Areas have experienced less subdivisions and may accommodate the County's large agricultural operations.

While the Plan anticipates that each of these Policy Areas will absorb their share of residential growth, at approximately the rates outlined above, the intention is to encourage as much development as possible to take place in the Urban Service and Community Development Areas. The Stuarts Draft Small Area Plan





boundary is comprised of mostly Urban Service and Community Development Areas, which positions Stuarts Draft as an area which will likely see significant development over the next twenty years. However, the plan boundary also includes Rural Conservation Areas, Agricultural Conservation Areas, and Public Lands as important components and natural features of the community that should be accessible to the development areas while remaining rural in nature.

Table 1 shows the analysis of the Stuarts Draft small area by Planning Policy Area. As the table shows, approximately forty-five percent (45%) of the small area is located in the Urban Service Area and approximately twenty-seven (27%) percent of the small area is located in the Community Development Area. In order to highlight and protect important natural resources of Stuarts Draft, the remaining 28% of land included in the small area is designated Rural Conservation, Agricultural Conservation, or Public Lands. While these areas are not planned for significant development, such areas will guide decisions and recommendations concerning their preservation and the desire to create connections from these areas to developed neighborhoods for recreational purposes. Furthermore, the surrounding areas designated Agricultural and Rural Conservation directly reflect the vision statement's sentiment of keeping the community framed by agriculture and rural land uses.

Table 1. Planning Policy Areas in the Stuarts Draft Small Area

Land Use Category	Land Area (Acres)	Percent of Total
Urban Service Area	8,059	45.07%
Community Development Area	4,736	26.48%
Rural Conservation Area	1,929	10.79%
Agricultural Conservation Area	1,608	8.99%
Public Lands	1,551	8.67%
Total	17,883	100%

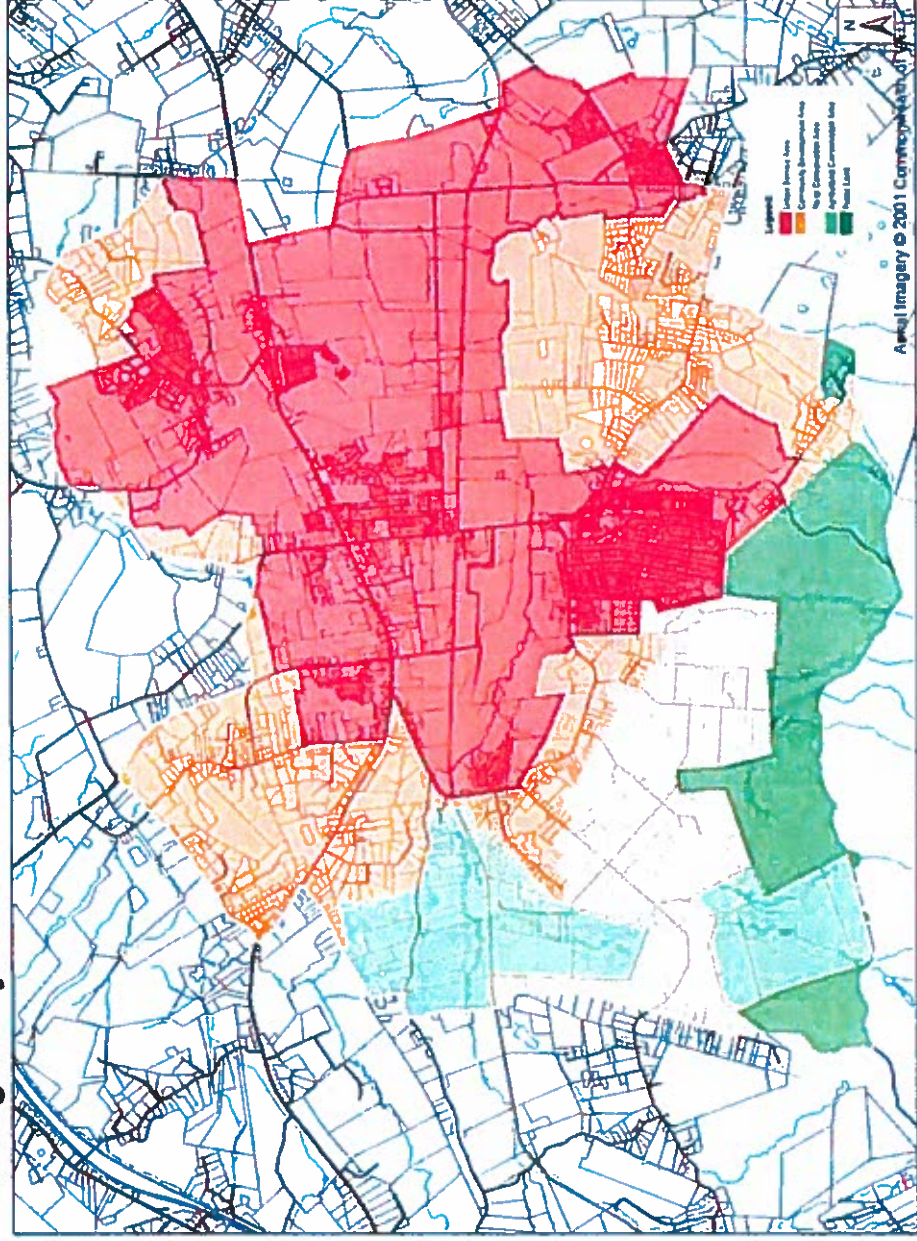
Note: Land area shown in the above table does not provide a breakdown for land designated as floodplain of which approximately 1,262 acres of the 17,883 acres within the small area, or 7%, is designated.

See Figure 3 for map of Planning Policy Areas for the Stuarts Draft Small Area plan boundary according to the Augusta County Comprehensive Plan Update 2014/2015. This plan will not change the Planning Policy Areas of such plan but rather fine tune use designations within those designated foundational areas described above.



Figure 3. Planning Policy Areas within Stuarts Draft

Planning Policy Areas within the Stuarts Draft Small Area



2. Comprehensive Plan Proposed Land Uses

Also found on the Planning Policy Area/Future Land Use Map are future land use categories. These categories are located within the Urban Service and Community Development Areas and provide a level of detail for designated development areas by recommending specific land uses and densities. These recommended uses include five distinct residential uses, as well as Business, Industrial, Public Use, Urban Open Space, three Mixed Use categories, and a Rural Community Category. These future land use categories are not zoning districts; instead they are intended to provide guidance to the County on rezoning and other land use requests. For instance, if a landowner who owns property zoned General Agriculture takes steps to rezone his or her property for residential use, the County will evaluate the request based on which, if any, of the five residential categories in which the property is located. Similarly, the Planning Commission will review the Planning Policy Areas and associated Future Land Use Designations when reviewing Special Use Permit requests.

Of the future land use designations listed above, the following are found within the Stuarts Draft Plan boundary:

The five residential future land use categories include Low Density Residential (1/2 to 1 dwelling unit per acre), Medium Density Residential (3 to 4 single family detached units per acre), Single Family Attached Residential (4 to 8 units per acre), Multifamily Residential (9 to 16 units per acre), and Planned Residential (4-8 units per acre, variety of residential uses). The Neighborhood Mixed Use category may include a variety of residential uses at a density of 4 to 8 dwelling units per acre and convenience retail and office uses on up to 20% of the total land area.

Table 2. Comprehensive Plan Future Land Uses in the Stuarts Draft Small Area

Land Use Category	Land Area (Acres)	Percent of Total
Business	315.12	1.8%
Industrial	2,233.68	12.5%
Neighborhood Mixed Use	1,098.37	6.0%
Low Density Residential	4,817.45	26.9%
Medium Density Residential	3,064.12	17.1%
Single Family Attached Residential	248.82	1.4%

Multifamily Residential	210.91	1.2%
Planned Residential	585.46	3.3%
Public Use	175.43	1.0%
Urban Open Space	45.79	0.3%
Land Use Category	Land Area (Acres)	Percent of Total
Agricultural, Rural Conservation Areas and Public Lands	5,088	28.5%
Total	17,883	100%

Note: Land area shown in the above table does not provide a breakdown for land designated as floodplain of which approximately 1,262 acres of the 17,883 acres within the small area, or 7%, is designated.

Table 2 shows the percentage of the different future land use categories found in the small area reflective of the 2014/2015 Comprehensive Plan Update. The most common future land use category found in the Stuarts Draft small area is Low Density Residential with Medium Density Residential being the second most common future land use category. Note that the Low Density Residential Category is only found in the Community Development Areas and makes up the vast majority of the CDA land in the small area. Somewhat unique to the Stuarts Draft small area, the third most common future land use category is Industrial. While the Business future land use category appears relatively low at under 2%, the 4th most common future land use category, Neighborhood Mixed Use, is envisioned to have business development on up to 20% of that designated land area.

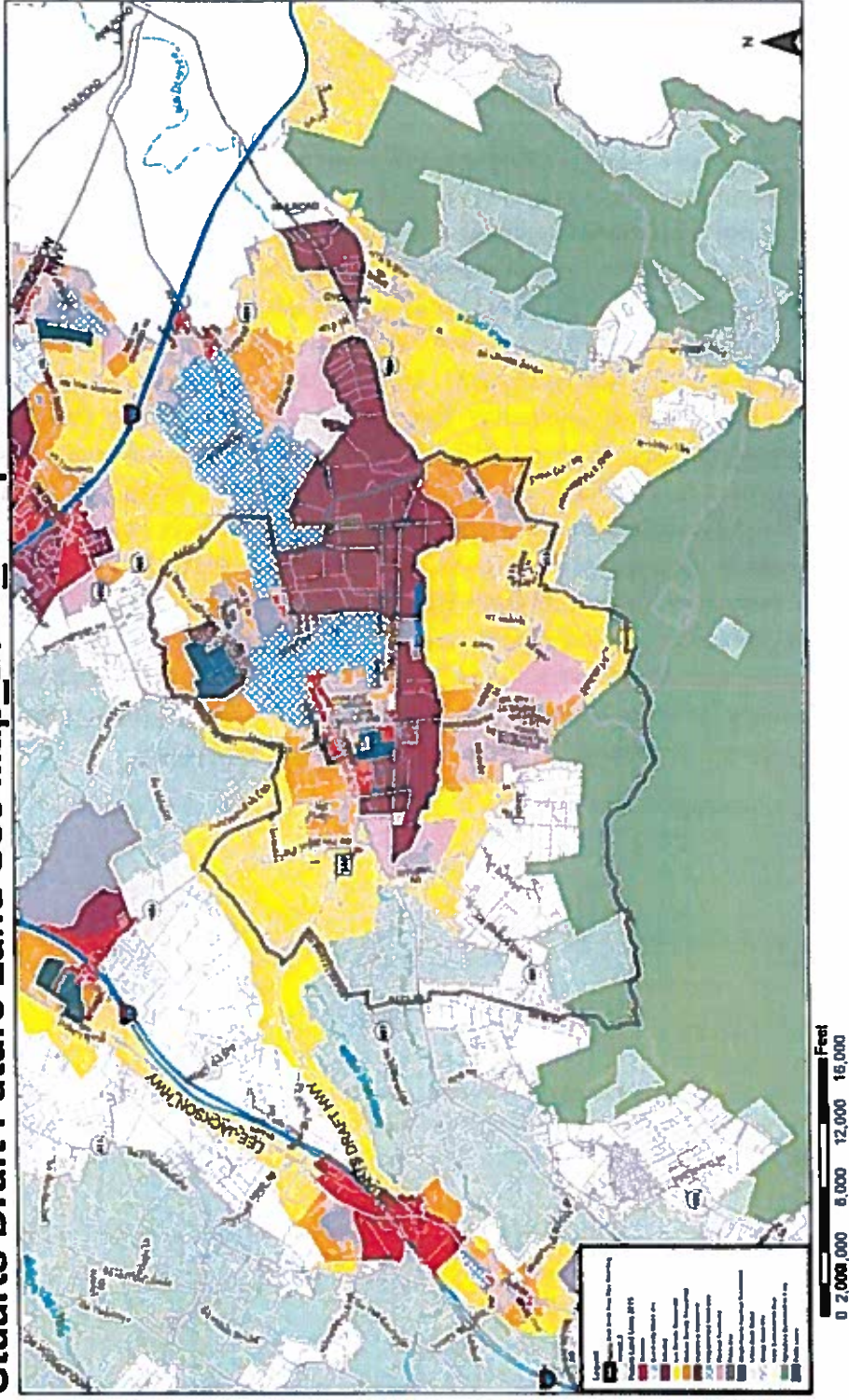
See Figure 4 for map of Future Land Use designations for the Stuarts Draft small area according to the Augusta County Comprehensive Plan Update 2014/2015.

Note: The Augusta County Comprehensive Plan Update 2014/2015 Future Land Use Map was updated to reflect changes to the future land use categories decided upon as part of this planning process prior to full adoption of this plan. The information above is representative of the Augusta County Comprehensive Plan Update 2014/2015 Future Land Use Map prior to these adopted changes so as to compare the changes born out of this planning process.



Figure 4. Stuarts Draft Future Land Use Map Adopted 2015

Stuarts Draft Future Land Use Map 2015 Adopted

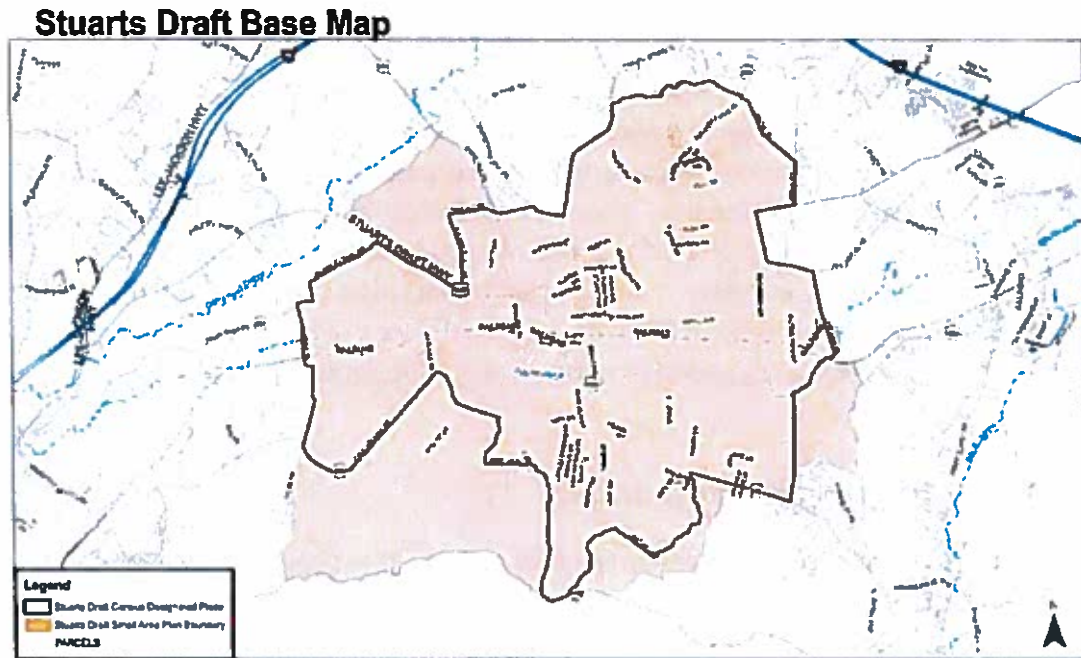


II. Population and Demographics

A. Current Population

The U.S. Census Bureau, whose primary mission is to serve as the leading source of quality data about the nation's people and economy, collects data for varying geographic levels, from blocks to the nation as a whole. For Augusta County, data is available for places which have been geographically defined by the County using criteria established by the Census Bureau. The Stuarts Draft Census Designated Place (CDP), covers 19.82 square miles and includes an area from Wilda Road to Lipscomb Road and from Tinkling Spring Road to the National Forest. The Stuarts Draft CDP had a 2010 population of 9,235. The American Community Survey 2013-2017 estimates the Stuarts Draft CDP population at 9,781, which is a little over a 500 person increase in population from the 2010 Census count. The Stuarts Draft CDP was used as a starting point in defining the small area plan boundary, but was amended based on feedback from staff, the Advisory Committee, and the public as it relates to how those who live and work in the community view its bounds. The Stuarts Draft Small Area Plan boundary compared to the Stuarts Draft CDP can be seen in Figure 3 below. Additional areas included in the small area plan boundary that are not represented by the CDP are shown in the figure below. As you can see, many of these additions incorporate subdivided land with existing residential development that identify as part of the Stuarts Draft community.

Figure 5. Stuarts Draft Census Designated Place and Small Area Plan Boundary



In order to capture the population that is outside of the CDP but included in the small area plan boundary, the following analysis was performed. There are approximately 915 parcels which lie outside of the CDP but are included in the small area plan boundary. Using Augusta County building permit data, it was determined that of those 915 parcels, approximately 705 of them have an existing structure used as a dwelling. The various real estate codes reflected in the building permit data are representative of single family dwellings, apartments, and mobile homes. The overwhelming majority of the 705 dwellings are single family dwellings but there are approximately 73 mobile homes in the dataset for the parcels selected.

After determining the number of dwellings outside of the CDP but within the small area plan boundary, a vacancy rate (owner-occupied) of 1.8% as estimated by the 2013-2017 American Community Survey (ACS) 5 year estimates for the Stuarts Draft CDP was used to reduce the 705 additional dwelling units to 692 additional dwelling units. Second, the 2013-2017 ACS 5 year estimates average household size for the Stuarts Draft CDP is 2.51. After multiplying the average household size by the additional 692 dwelling units, an



additional population of 1,737 was added to the estimated 9,781. Therefore, the estimated current population for the Stuarts Draft Small Area Plan boundary is 11,518.

Given Stuarts Draft's present estimated population of 11,518 it is possible to roughly estimate the population of the Stuarts Draft area in twenty years. The first step is to determine how much the total Augusta County population will grow. The Weldon Cooper Center for Public Service estimates the 2040 Augusta County population to be 85,754 which is approximately a 15% population growth rate, using the ACS 2013-2017 5 year estimate of 74,390 as the starting population estimate. The 15% population increase is smaller than what was envisioned in the 2014/2015 Comprehensive Plan Update which projected the 2040 Augusta County population to be 94,713, a 27.3% population increase. For this plan's population projection, we will use the more conservative 15% net increase in population as a more realistic number, equating to a projected 12,863 person increase in county population by 2040.

B. Projected Population

The next step is to determine how much of that population growth will occur in the Stuarts Draft small area. Since the Comprehensive Plan divides the County into four Planning Policy Areas, each with a targeted percentage of future growth, we can estimate the amount of the total estimated Augusta County population growth that can be attributed to the Stuarts Draft small area.

These targets aim to locate 80 percent (80%) of the future population growth in the Urban Service Areas, 10 percent (10%) in the Community Development Areas, and 5 percent (5%) each in the Rural and Agricultural Conservation Areas. If these percentages are applied to the countywide growth estimate, 10,290 of the new residents will move into the USA, 1,286 to the Community Development Areas, and 643 each to the Agricultural and Rural Conservation Areas.

Now we will apply the countywide population estimates for the Planning Policy Areas to the Stuarts Draft small area. This is done by determining how much of the total Urban Service and Community Development Area land is located in the small area.

Approximately 45% (8,059 acres) of the small area's 17,883 acres are in the USA, which corresponds to 20.6% percent of the total USA land found in the County. Applying this figure to 80% of the estimated 12,863 population increase for Augusta County over the next 21 years, Stuarts Draft is expected to capture approximately 2,120 of the Augusta County estimated population projection into its USA.



In addition, approximately 26.5% (4,736 acres) of the small area's 17,883 acres are in the CDA, which corresponds to approximately 14% of the total CDA land found in the County. Applying this figure to 10% of the estimated 12,863 population increase for Augusta County over the next 21 years, the Stuarts Draft CDA is expected to capture approximately 180 of the Augusta county estimated population projection into its CDA. Therefore, the projected population increase for Stuarts Draft over the next 21 years is 2,300, which would take the population from a current estimate of 11,518 for 2019 to 13,818 for 2040.

Note: The reason 2040 is used for the above projections as compared to the Plan's timeframe of 2039, is reflective of grounding the projection's methodology so as to match the used Weldon Cooper population estimates which have a 2040 horizon.

C. Recent Population Growth

Given the method utilized by this Plan for estimating population, based mostly on population estimates and not real data, it is important to utilize available data on recent residential development to further analyze recent population growth trends.

Using residential building permit data, a query was run on new construction residential building permits, including single family and multi-family, for all Tax Map Parcels within the Stuarts Draft Small Area Plan boundary from 2014-2018. The numbers for the Stuarts Draft small area compared to Augusta County as a whole can be found in Table 3 below.

Table 3. Residential Building Permits (Single Family and Multifamily) in the Stuarts Draft Small Area 2014-2018

Year	Stuarts Draft		Augusta County
	Count	Percent	
2014	36	8.6%	418
2015	62	28.57%	217
2016	44	21.05%	209
2017	57	24.26%	235
2018	39	28.47%	137
Total	238	19.57%	1,216

Source: Augusta County Building Permit Data

Note: Does not include manufactured homes and 2018 data is through October



As Table 3 shows, the number of residential building permits issued in Stuarts Draft saw a significant increase from 2014 to 2015. From 2015 to 2018 the number of new residential units in Stuarts Draft saw some slight increases and decreases but overall remained within 20 to 30 % of all new residential construction in Augusta County.

Building permits issued for the County as a whole saw a decline from 2014 to 2018, with a significant countywide decrease from 2014 to 2015. Notably, Stuarts Draft's share of the total number of permits issued countywide increased dramatically from 2014 to 2015. With only 10 of the 12 months recorded in this data for 2018, Stuarts Draft has represented close to 30% of the total residential construction in the County. Overall, just under 20% of all residential building permits issued countywide since 2014 have been in the Stuarts Draft small area. This last point is significant because the Comprehensive Plan calls for increasing the percentage of new residential units in the Urban Service and Community Development Areas and reducing it in the Rural and Agricultural Conservation Areas. Stuarts Draft's Urban Service Area makes up approximately 20% of the county's total Urban Service designated land area.

As with the residential unit numbers used to estimate the County population, the number of building permits issued over a period of time can be used to estimate population. While they cannot be used to produce a population trend, since many of these new units may take some time to become occupied, they can be used to estimate population potential. These numbers can be multiplied by the persons per household and vacancy rate statistics to produce a figure for the potential additional population these units may accommodate. Therefore, the total building permit count for this timeframe produces a population potential of 587. This means that the residential units built in Stuarts Draft in the past five years could provide for approximately 587 additional residents. This shows that, even with seemingly small amounts of annual construction, the estimated population increase of 2,300 could occur within the twenty year timeframe of the plan.

D. Demographics

Demographic statistics used in this section are from the ACS 2013-2017 5-Year Estimates for the Stuarts Draft CDP. Although this data set is an estimate and does not include all of the land represented in the small area plan boundary, the data does provide valuable information about the community, particularly as a point of comparison to the County as a whole.



The role of demographics in the planning process is essential. Demographic data gives a snapshot of the community. For example, such data provides insight into the age range of the population and thus the services and types of housing that may be needed in the timeframe of the plan. Such data also provides a look into the educational attainment of the community which can also assess the need for services and/or provide understanding as to the types of industry/employment that may thrive in the area. A comparative analysis of the Stuarts Draft CDP demographic data to such data for Augusta County further enhances the data for planning purposes.

As mentioned previously, the Stuarts Draft CDP ACS 5-year estimates estimate a 2017 population of 9,781 residents. In many ways, those roughly 9,800 residents are reflective of roughly 74,000 fellow Augusta County residents. There are, though, some noticeable differences. While the racial breakdown of Stuarts Draft, for instance, was very similar to that of the entire County, the Stuarts Draft population is slightly younger than the Augusta County population with a lower median age and smaller percentage of the population 65 years or older. However, it is also important to note that the figures for the Stuarts Draft CDP identify a population that on average is older than the State and the Nation.

Table 4 demonstrates that the educational attainment estimates for the Stuarts Draft CDP are higher than the county as a whole and similar to the state at the completion of a high school diploma or higher level but are lower than the state and the county at the completion of a Bachelors degree or higher level.

Table 4. Gender, Age, and Educational Attainment

	Stuarts Draft CDP	Augusta County	Virginia
Percent Male	47.4	50.7	49.2
Percent Female	52.6	49.3	51.8
Median Age (years)	41.2	44.6	38.0
Percent 65+	17.1	19.2	14.2
Percent with a High School Diploma or higher	90.0	86.9	89.0
Percent with a Bachelors Degree or higher	19.7	23.4	37.6



Source: American Community Survey 5 year estimates 2013-2017

III. The Stuarts Draft Small Area

A. Stuarts Draft History

According to an article published in the Stuarts Draft Hub on Friday August 11th of 1972, Stuarts Draft was founded in the mid-1700s by Thomas Stuart the son of Archibald Stuart. Archibald Stuart was a Scottish immigrant who fled Britain from religious persecution in 1725 and settled in Pennsylvania. After he was granted a general amnesty in 1732, his family joined him and they moved from Pennsylvania to Augusta County in 1738 where they settled on a farm near Tinkling Spring. Thomas Stuart, Archibald's son, bought 353 acres of land in 1749 and it is that purchase which is considered the founding of Stuarts Draft.

While the "Stuart" part of the community's name is obvious, the "Draft" part is a bit more difficult to determine; however, it is often attributed to a current of air moving through a low lying area near water along with accounts of a strange wind blowing over the village. Based on conversations with two community historians, another origin for the name is the document drafting the land sale².

The village, originally settled, was near Howardsville Turnpike and had a tavern and general store. The rugged terrain made it difficult for the village to transport goods. Some goods could be brought to the village by horseback but many necessities were constructed by the settlers from the land.

In the mid-1800s, an improved road was established, making it possible for settlers to travel by horse drawn carriage to Scottsville to the east to exchange goods. Some three decades later, the Norfolk and Western Railway was built allowing for an additional village to be established in close proximity to the south with a store, mill, blacksmith shop, hardware store, post office, depot and the Dodge Inn. The development of the railroad brought a period of increased prosperity and growth for Stuarts Draft³.

² Conversation with Larry Cohron and Randall Almarode on October 11, 2019.

³ Critzer, Ben. "Stuarts Draft Goes Way Back." *The Stuarts Draft Hub*, Vol.1-No.1. August 11, 1972. Published weekly with the News Virginian.



In more recent history, Stuarts Draft has experienced growth in several industrial/manufacturing industries. Draftco, a machine and fabrication shop located at Johnson Drive, sited in Augusta County in 1965. Nibco, manufacturer of copper fittings, located at Johnson Drive in Augusta County shortly after in 1969.

Hershey, McKee Foods, Target, and Hollister, four of Augusta County's top ten employers located in the Stuarts Draft area from the late 1970's through 1995.

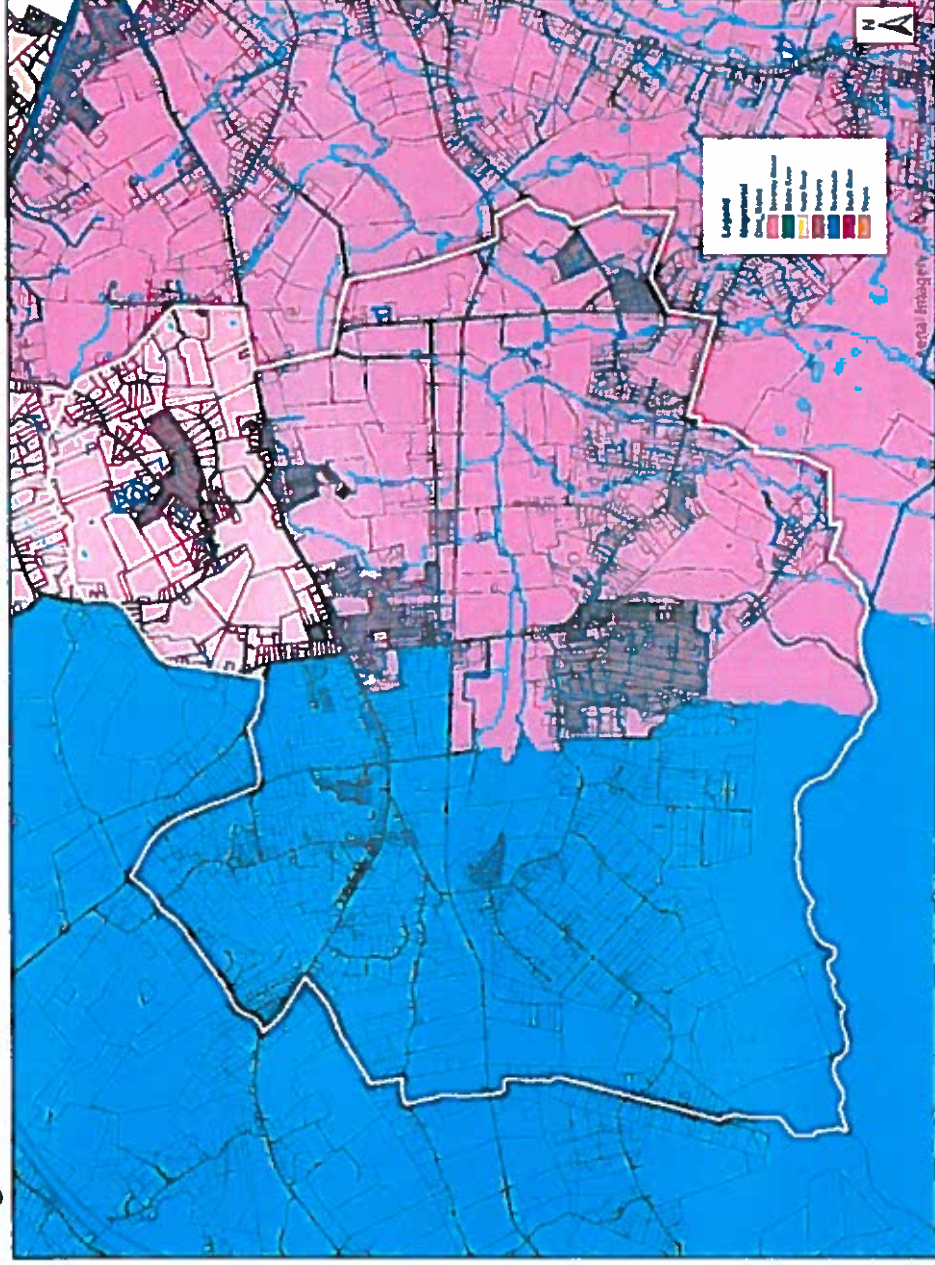
B. Stuarts Draft and the Surrounding Area

The Stuarts Draft small area is an identified development area of Augusta County. Beverley Manor, Riverheads, and the South River magisterial districts come together within the Stuarts Draft small area (See Figure 4).



Figure 6. Magisterial Districts within the Stuarts Draft Area

Magisterial Districts within the Stuarts Draft Small Area 2019



The community has a core historic downtown which is roughly 5 miles west of the Waynesboro city limits. The historic downtown has seen a decline in existing business uses over the years as visibility and transportation access of Route 340 have been the main draw for new business development. A revitalization of the mixed use character of the historic downtown area is a key economic development and land use goal of this plan.

The larger Stuarts Draft area is representative of both agricultural land and residential, business, and industrial development.

The Stuarts Draft community is situated southwest of Fishersville, which is another designated growth area of Augusta County.

Stuarts Draft is located within close proximity to Interstate I-81 and I-64 making it a prime location for industrial, business, and residential development.

Land directly north and west of the community is mostly rural and minimally subdivided and envisioned to remain as such. The southern border of the Stuarts Draft small area is the George Washington National Forest, bounding the community by an important natural, scenic, and recreational asset.

IV. The Plan for Stuarts Draft

A. Overview

The Stuarts Draft Small Area Plan is comprised of several sections. The foundation of the Stuarts Draft Small Area Plan is the vision statement. The vision statement is followed by a description of the Future Land Use Map. Next are a series of sections, based on topic area, that identify lists of goals, objectives, and policies. The identified goals speak directly to the foundational vision statement and tie back to the Future Land Use Map. The Plan concludes with the development design suggestions and the implementation strategy.

Since the Stuarts Draft Small Area Plan is a follow-up document to the County's 2014/2015 Comprehensive Plan Update, the Stuarts Draft Small Area Plan does not supersede the Comprehensive Plan but supplements and refines it. The Stuarts Draft Plan provides additional goals, objectives, and policies than those found in the countywide plan and should be referenced for development projects and grant funding opportunities within the Plan boundary.

1. Planning Policy Areas

The foundational component of both the countywide Comprehensive Plan and the Stuarts Draft Small Area Plan are the Planning Policy Areas which implement the desired growth strategy. As previously discussed, the Comprehensive Plan creates four Planning Policy Areas for implementing the vision of the Plan. A vision which intends to concentrate well-planned urban development so as to preserve productive, well-protected agricultural land. The four Planning Policy Areas are the Urban Service Areas, the Community Development Areas, the Rural Conservation Areas, and the Agricultural Conservation Areas.

In addition to growth targets for the Planning Policy Areas, the Comprehensive Plan also describes the character, form, and general pattern for growth and development in the County's Urban Service and Community Development Areas.

While the boundaries of the Stuarts Draft small area include some Rural Conservation and Agricultural Conservation Areas, it is the Urban Service and Community Development Areas, making up 71.5% of the area, that are targeted for the type of development described below, which is taken directly from the Augusta County Comprehensive Plan 2014/2015 Update.

Urban Service Areas

Urban Service Areas are defined as areas which are appropriate locations for development of a full range of public and private land uses of an urban character on public water and sewer, in either the immediate or long term future.

Urban Service Areas are characterized by relatively substantial amounts of existing development and public utilities and facilities, substantial amounts of available developable land, and good transportation access. Those areas designated as Urban Service Areas are those which are appropriate for urban development on public water and sewer within the 20 year timeframe of this Plan. The infrastructure is not in place at this time to provide service to every parcel identified as being in the Urban Service Area. However, as development occurs the expectation is that it will be on public water and sewer service. It is also recognized that not every parcel of land in the Urban Service Area will be sold for development within the next 20 years and not every parcel, due to site specific considerations, is appropriate for development at the densities proposed.



The development that is expected to take place in the Urban Service Areas is expected to be compact, interconnected, and pedestrian oriented while remaining sensitive to the context of the surrounding development as well as the surrounding natural features. Due to the urban nature of the development planned for these areas, intensive agricultural operations would not be encouraged to locate or expand in these areas.

Urban Service Areas are priority locations for:

- Significant amounts of urban residential and employment growth
- Expansions of public water and sewer service
- Local and regional public facilities
- Most "one-of-a-kind" public facilities such as hospitals
- Most industrial development – light, medium, and heavy, with adequate facilities and buffers
- Larger scale urban residential and business developments
- Larger scale mixed use developments, where different combinations of residential, business, and industrial uses will be found within a development

Community Development Areas

Community Development Areas are local community settlements which have existing public water or public sewer systems in place or which have relatively good potential for extensions of either of those utilities. These areas are appropriate locations for future low density, rural land uses based upon road access, the existing land use pattern, and proximity to existing public facilities and services, although they are planned to remain predominantly residential in character.

Most of the Community Development Areas have only public water service. Community Development Areas do not have both public water and sewer service; therefore they are only suitable for lower density, primarily residential uses. As development occurs over the very long term and public water and sewer service is extended, some Community Development Areas may evolve to the point that they are designated Urban Service Areas. The infrastructure is not in place at this time to provide service to every parcel identified as being in the Community Development Area. However, as development occurs the expectation is that it will be on public water or sewer service. It is also recognized that not every parcel of land in the Community Development Area



will be sold for development within the next 20 years and not every parcel, due to site specific considerations, is appropriate for development at the densities proposed.

The development that is expected to take place in the Community Development Areas is expected to be compact, interconnected, and pedestrian oriented while remaining sensitive to the context of the surrounding development as well as the surrounding natural features. Clustered developments would be encouraged in these areas.

As they are existing local community settlements and areas where the county wishes to continue to promote residential development, intensive agricultural operations would not be encouraged to locate or expand in the Community Development Areas.

Community Development Areas are priority locations for:

- Moderate amounts of small scale residential and employment growth at marginally higher densities than in the Rural Conservation Areas
- Limited expansions of public water or sewer service
- Local public facilities
- Small scale, low-intensity commercial and/or light industrial developments

Concentrating growth in the above described areas, will preserve open space and adjacent agricultural land that frames the community, which is part of this Plan's vision. Ultimately, the Stuarts Draft Plan's recommendations are built on a foundation established by the Comprehensive Plan's Planning Policy Areas.



B. A Vision for Stuarts Draft 2039

Today the Village of Stuarts Draft is a place born of agriculture with a close-knit community, strong industry supported by hard-working families, ample natural resources, and numerous recreational possibilities.

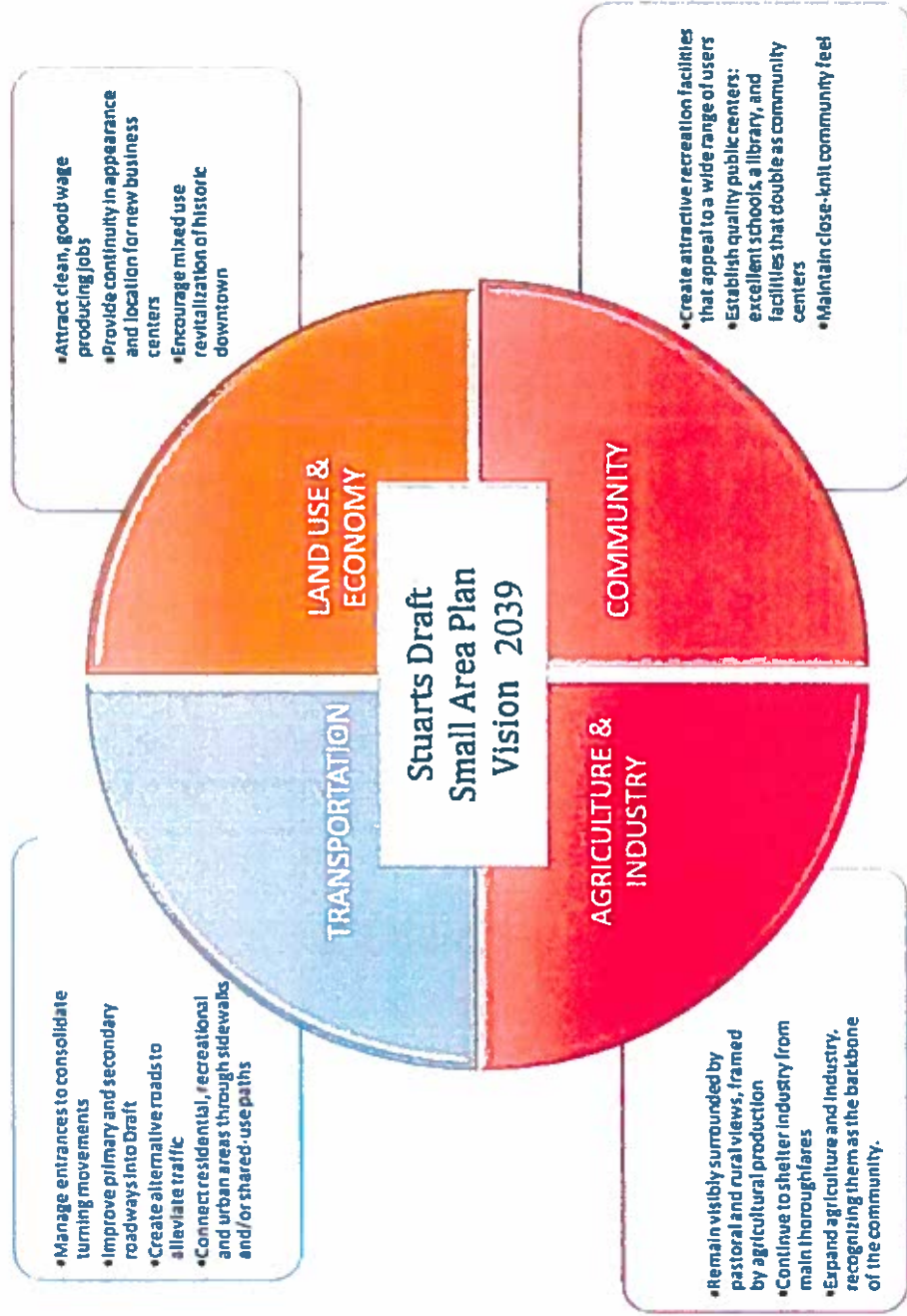
Stuarts Draft's future should be marked by a theme of cohesive planning and living, connected by a walkable mixed-use path to its residential, recreational, and urban areas. Stuarts Draft will continue to be visibly surrounded by pastoral and rural views as it remains framed by agricultural industry. Its good wage-producing employment centers continue to be sheltered from the main thoroughfares, with accessible, clean business centers providing a level of continuity in appearance and location. Its old downtown is distinguished by its quaint appearance, maintaining the flavor of its historic roots, and remaining mixed-use in nature.

Architectural endeavors continue to add to the quaint and historic feeling of the community in all areas of building, but allow for modern convenience. Safe pedestrian and bicycle facilities are a priority in this nature-driven community where new development is concerned and when connecting existing areas of recreation, business, and living.

Quality public centers include excellent schools, a library, and facilities that double as community centers, emergency services, and which have enhanced "green" features. Attractive recreation facilities which appeal to a wide range of users have and will continue to be added to the network that ties the community together.



Figure 7. Stuarts Draft Small Area Plan Vision Statement Graphic



C. Stuarts Draft Future Land Use Map

The Stuarts Draft Future Land Use Map (Figure 5) includes all of the land located within the Stuarts Draft Small Area Plan boundary on which future land use designations are assigned to Urban Service and Community Development Area land. The boundaries of the different land use categories, outlined in greater detail below, are based on those found in the Augusta County Comprehensive Plan, although there are some unique distinctions. The Stuarts Draft Future Land Use Map shall amend the Comprehensive Plan's Future Land Use Map in determining the appropriate use for property in the Stuarts Draft area. As mentioned previously, some of the land within the Stuarts Draft Small Area Plan boundary is in the Rural and Agricultural Conservation Planning Policy Areas as designated by the Comprehensive Plan Update 2014/2015. These two Planning Policy Areas do not receive future land use designations and will remain the same as they are in the Comprehensive Plan 2014/2015 Update.

Table 5 shows the amount of land found in each of the future land use categories as identified by this Plan's Future Land Use Map.

When comparing the Future Land Use Map adopted prior to this small area planning process with the Future Land Use Map from this Plan, relatively minor changes were made and are summarized in the following: creation of a Recreational Business future land use designation (detailed below), increase from zero acres to approximately thirty-five acres designated as Village Mixed Use in downtown historic Stuarts Draft, decrease in Single Family Attached Residential, decrease in Planned Residential and increase in Urban Open Space to reflect conservation easements or state owned property for conservation and recreation purposes. The multi-family future land use designation remains unchanged as well as the public use future land use designation, which identifies publically owned property.

Table 5. Land Uses of the Stuarts Draft Future Land Use Map

Land Use Category	Land Area (Acres)	Percent of Total
Business	363.9	2.8%
Recreational Business	361.8	2.8%
Industrial	2089.2	16.3%
Neighborhood Mixed Use	1062.8	8.3%
Village Mixed Use	35	0.3%
Low Density Residential	4725.4	36.8%
Medium Density Residential	3228.3	25.1%
Single Family Attached Residential	180.4	1.4%



Land Use Category	Land Area (Acres)	Percent of Total
Multifamily Residential	210.9	1.6%
Planned Residential	231	1.8%
Public Use	175.4	1.4%
Urban Open Space	186.4	1.4%
Total	1,285.5	100%

Note. Land area shown in the above table does not provide a breakdown for land designated as floodplain of which approximately 1,261 acres of the small area is designated.

1. Business

This designation intends to accommodate retail, professional office, and service-oriented business activities, serving the Stuarts Draft community and the greater region. Although the majority of business designated land is along Route 340, business uses should be oriented so as not to "strip" the major road corridors but instead develop as nodes near the intersections of major roads that are integrated into the surrounding community by way of through streets, sidewalks, and walking/biking trails. Quality development design features, including rear parking, awnings, varied rooflines, and landscaped parking areas should be included in new business developments wherever possible.

2. Industrial

This category applies to areas that are designated for well-planned industrial activities including light manufacturing, warehousing, distribution, laboratory, and processing uses. Industrial uses should not be located along the entrance corridor to the community. Industrial uses shall develop as nodes that can be integrated into the surrounding community by way of through streets, sidewalks, and walking/biking trails while at the same time buffering incompatible uses with natural areas and appropriate screening techniques.

3. Neighborhood Mixed Use

This category is intended for large tracts of land which are appropriate for smaller scale, creatively planned communities that can serve as extensions of existing residential and mixed use communities in the Stuarts Draft area. A mix of residential types with limited convenience retail and office uses and integrated open spaces in a pedestrian-friendly, interconnected environment should be key elements of these neighborhoods. A mixture of residential units that provide for the variety of lifestyle choices and affordability needs of the Stuarts Draft area should also be encouraged.



Compatibility among the various uses should be maintained through design standards that encourage a creative mix of uses and quality development design that fits with the character of the surrounding areas. Design elements including porches, fences, rear garages, reduced setbacks, and other similar elements should be included.

Individual Neighborhood Mixed Use developments should be developed with up to 20 percent of the land area for business uses. Additionally, total residential densities, in the non-business portion of the development, should be between 4 and 8 units per acre and should include single-family detached, single-family attached, and/or townhouse apartment units.

4. Multifamily Residential

This category provides for residential uses developed at higher densities to accommodate multifamily rental or condominium uses in the form of multi-story traditional apartment buildings, townhouse apartments, or manufactured home parks with multiple residential units located on a single parcel. These higher density areas should provide a mixture of unit sizes and appointments to accommodate the needs of Stuarts Draft's younger residents, retirees, and those in need of affordable housing options. A pedestrian-friendly design that incorporates open spaces and can be integrated into the surrounding communities by way of through streets, sidewalks, and walking/biking trails should be a key element of these developments. Multifamily Residential developments should be planned for 9-16 units per net acre.

5. Single-Family Attached Residential

This category provides for residential uses developed at moderate densities to accommodate attached single-family uses in the form of townhouses, duplexes, or triplexes on individual lots. These moderate density areas should provide a mixture of house sizes and appointments to accommodate the needs of Stuarts Draft's diverse community. Individual homes may take the form of multiple-story townhouses or single-story homes but all are encouraged to include design elements such as porches, fences, rear garages, and other similar elements. A pedestrian-friendly design that incorporates open spaces and can be integrated into the surrounding communities by way of through streets, sidewalks, and walking/biking trails should be a key element of these developments. Single-Family Attached Residential developments should be planned for 4-8 dwelling units per net acre.



6. Medium Density Residential

This category includes neighborhoods of single-family homes on individual lots at a typical suburban density. These areas should provide a mixture of house sizes to accommodate the needs of Stuarts Draft's diverse community. Individual homes may incorporate a variety of styles, layouts, and forms but all are encouraged to include design elements such as porches, fences, rear garages, and other similar elements. A pedestrian-friendly design that incorporates open spaces and can be integrated into the surrounding communities by way of through streets, sidewalks, and walking/biking trails should be a key element of these developments. Medium Density Residential developments should be planned for 3-4 dwelling units per net acre.

7. Low Density Residential (CDA Only)

This category provides for neighborhoods of single-family homes on individual lots at a more rural scale and density. These areas should provide a mixture of house sizes to accommodate the needs of Stuarts Draft's diverse community. Individual homes may incorporate a variety of styles, layouts, and forms but all are encouraged to include design elements such as porches, fences, rear garages, and other similar elements. A design that allows the preservation of open spaces and the buffering of adjacent agricultural areas should be encouraged, particularly where it includes the clustering of residential uses. Designs that integrate these areas with the surrounding areas by way of through streets and walking/biking trails should also be encouraged. Low Density Residential developments should be planned for ½-1 dwelling unit per net acre.

8. Recreational Business

This category is unique to the Stuarts Draft small area and was developed in consultation with the Advisory Committee and public. This category provides for business development on a limited scale, within close proximity of important natural resource recreation opportunities. Businesses developed in this area should support and/or enhance the natural resource attraction and provide amenities to those accessing such recreation, whether tourists or community members. Businesses developed as part of this future land use should blend into the surrounding rural/natural area. These businesses should be compatible with surrounding low density residential development. Examples include: bicycle shops, camping/hiking equipment stores, small restaurants to support recreation users, campgrounds.



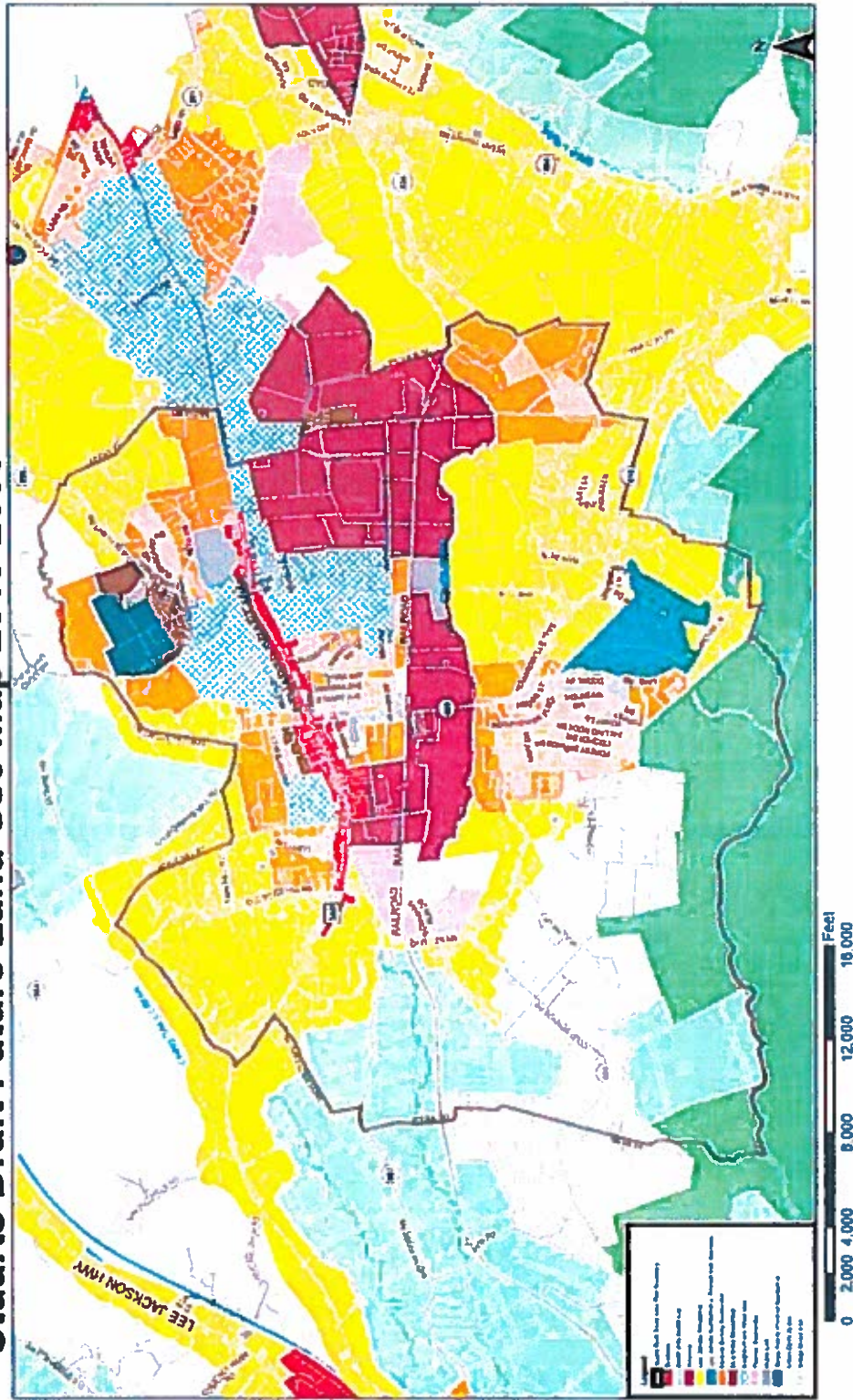
9. Village Mixed Use

This category encourages the adaptive reuse of existing structures, as well as infill development conforming to the existing or historic development pattern in the community.



Figure 8. Stuarts Draft Small Area Plan Future Land Use Map

Stuarts Draft Future Land Use Map 2019-2039



V. Goals/Objectives/Policies

A. Stuarts Draft Transportation Plan

The Augusta County Comprehensive Plan Update 2014/2015 included an updated Transportation Chapter for the entire county. Since the 2014/2015 Transportation Chapter update focused mainly on recommended road and vehicular improvements, staff, the advisory committee, and board members decided to utilize the small area planning process for a detailed bike and pedestrian infrastructure analysis and subsequent recommendations as well as select bridge improvement analysis and recommendations.

The Augusta County Comprehensive Plan Transportation Chapter Update 2014/2015, recognizes that a network of streets is needed to help relieve the projected congested corridors within Stuarts Draft. Specific recommendations for upgrades include the following:

- SR 909 (Johnson Drive) from the current terminus to SR 608 (Cold Springs Road) – Extend road across the South River
- SR 635 (Mount Vernon Road) from US 340 to SR 639 (Wayne Avenue) – Spot improvements for failing Level of Service (LOS) in 2035
- SR 608 (Tinkling Spring Road/Draft Avenue) from SR 635 (Augusta Farms Road) to SR 610 (Howardsville Turnpike) – Spot improvements for failing LOS in 2035
- SR 632 (Shalom Road) from SR 624 (Lyndhurst Road) to US 340 – Upgrade to 2-lane secondary road standards (This project is outside of this plan's boundary).
- SR 970 (Hall School Road) from SR 632 (Shalom Road) to SR 635 (Mount Vernon Road) – Upgrade to secondary road standards.
- SR 971 (Lipscomb Road) from SR 664 (Lyndhurst Road) to SR 970 (Hall School Road) – Upgrade to secondary road standards and evaluate the adequacy of the bridge to accommodate anticipated traffic.
- SR 634, 633, and 639 (Patton Farm Road) from SR 610 (Howardsville Turnpike) to SR 970 (Hall School Road) – Upgrade to secondary road standards
- SR 610 (Howardsville Turnpike) from SR 608 (Cold Springs Road) to east of SR 660 Lake Road – Reconstruct to improve operations and address geometric deficiencies (Project completed).



- **Scholastic Way Sidewalk Project** – Construct one third mile of five foot wide concrete sidewalk connecting additional neighborhoods to previously constructed sidewalks and providing additional community access to school complex. (Update on completed phases detailed below).

The 2014/2015 Update highlights these needed improvements as a means of alleviating congestion as development continues. In addition to the above mentioned recommendations, this Plan encourages bike/pedestrian improvements throughout the community, specifically along the congested Rt. 608. Please note that this Plan does not leave the Johnson Drive road connection off the table, with the recommendation of a pedestrian connection, but identifies the significant costs, which may be prohibitive if other improvements can be used as a mean of alleviating Rt. 608 congestion.

So as not to repeat the Augusta County Comprehensive Plan Transportation Chapter Update 2014/2015, please reference the entire document for more detailed information. In any case where maps require updated information, an updated map with this Plan's date is included below.

Rather than updating the existing map for the public transit route update for the Stuarts Draft Small area, a new map was created showing existing zoning designations and the current Brite Bus public transit route. It is important to note that since the adoption of the 2014/2015 plan update, the Stuarts Draft Link has been added to the Brite Bus public transit system route within the Stuart Draft Small Area Plan boundary to expand service (See Figure 7).

Lines in green on Figure 7 represent the normal Stuarts Draft Link route and areas in red identify an on-call service. The route currently serves existing business and residential development of various densities, including a senior housing development, and connects such development to the Fishersville community and the City of Waynesboro via Ladd Road.

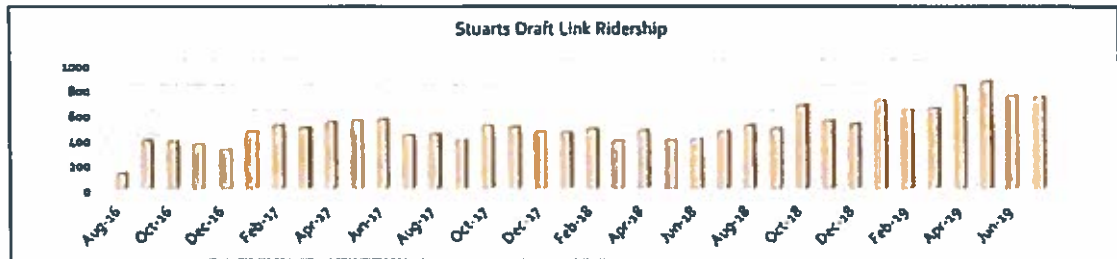
The current bus stops are located at Montague Apartments (on-call service) and the following stops on the regular route: Highland Hills Apartments, Brittany Knoll, Shenandoah Valley Estates, Augusta Farms Apartments, Augusta Health Stuarts Draft, Broadmoor Plaza, Target Distribution Center, Stuarts Draft Retirement Community, and the Walmart in the City of Waynesboro.

Below is a graph of public transit ridership by month for the Stuarts Draft Link. A monthly ridership of 119 patrons in August 2016 has grown to a monthly ridership of 730 patrons for July 2019. The highest monthly ridership for the Stuarts Draft Link was



856 patrons in May of 2019. The Stuarts Draft Link has seen an approximately 65% increase in ridership from FY 2017 to FY 2019.

Figure 9. Stuarts Draft Link Ridership



Data Source: Central Shenandoah Planning District Commission



Below, the plan provides a brief update on completed projects since the adoption of the Augusta County Comprehensive Plan 2014/2015 Update:

A County priority transportation project from the 2014/2015 plan update, located in the Stuarts Draft area, was improvement of the SR 610 Howardsville Turnpike from SR 608 Cold Springs Road to SR 660 Lake Road. The purpose of this project was to improve the Route 610 (Howardsville Turnpike) corridor from 1/8 mile east of Route 608 to just east of Campbell Lane. This 0.5 mile long project widened the road from 22 feet to 28 feet with curb and gutter throughout. It also improved the roadway alignment and profile to provide better visibility, and realign the intersection of Route 610 and Route 912 (Hodge Street). This project was completed on 3/19/2019, prior to the adoption of this plan. Figure 8. below removes this project from the countywide priority projects map.

Secondly, a segment of the Scholastic Way Shared-Use Path project, located in the Stuarts Draft area, was identified as a priority project in the Comprehensive Plan 2015/2015 Update. Phases I, II and III are complete. Those phases include approximately $\frac{3}{4}$ of a mile of sidewalk extending from the intersection of Augusta Farms Road and Stuarts Draft Highway to the intersection of Augusta Farms Road and Roundhill Drive. The project is connected to and enhances pedestrian connectivity within the Stuarts Draft School Complex which includes Stuarts Draft Elementary, Middle and High Schools. As of April 2019, Augusta County is entering into Phase IV of the Safe Routes to School project which will extend sidewalks along Round Hill Drive from Augusta Farms Road to Brittany Lane. Figure 9 below shows the area of sidewalk completed since the 2014/2015 plan update circled.

The above mentioned projects were the only two county priority projects identified in the 2014/2015 Transportation Update that are located in the Stuarts Draft plan boundary. Other road improvement recommendations for the Stuarts Draft area, from the 2014/2015 plan, still apply and are not changed as a result of this planning process. Essentially this plan accepts the transportation recommendations of the 2014/2015 Update and adds the below referenced additional recommendations:

Therefore, Figure 8 can be used as a visual aid of transportation projects, not yet completed, and recommended by the Augusta County Comprehensive Plan Transportation Chapter 2014/2015 Update as well as additional recommendations from the Stuarts Draft Small Area Plan 2019-2039. A larger conceptual greenway alignment will be shown in a separate map.



Figure 11. Stuarts Draft Transportation Recommendations (Update of Map 7 from Augusta County Transportation Plan 2014/2015 Update)

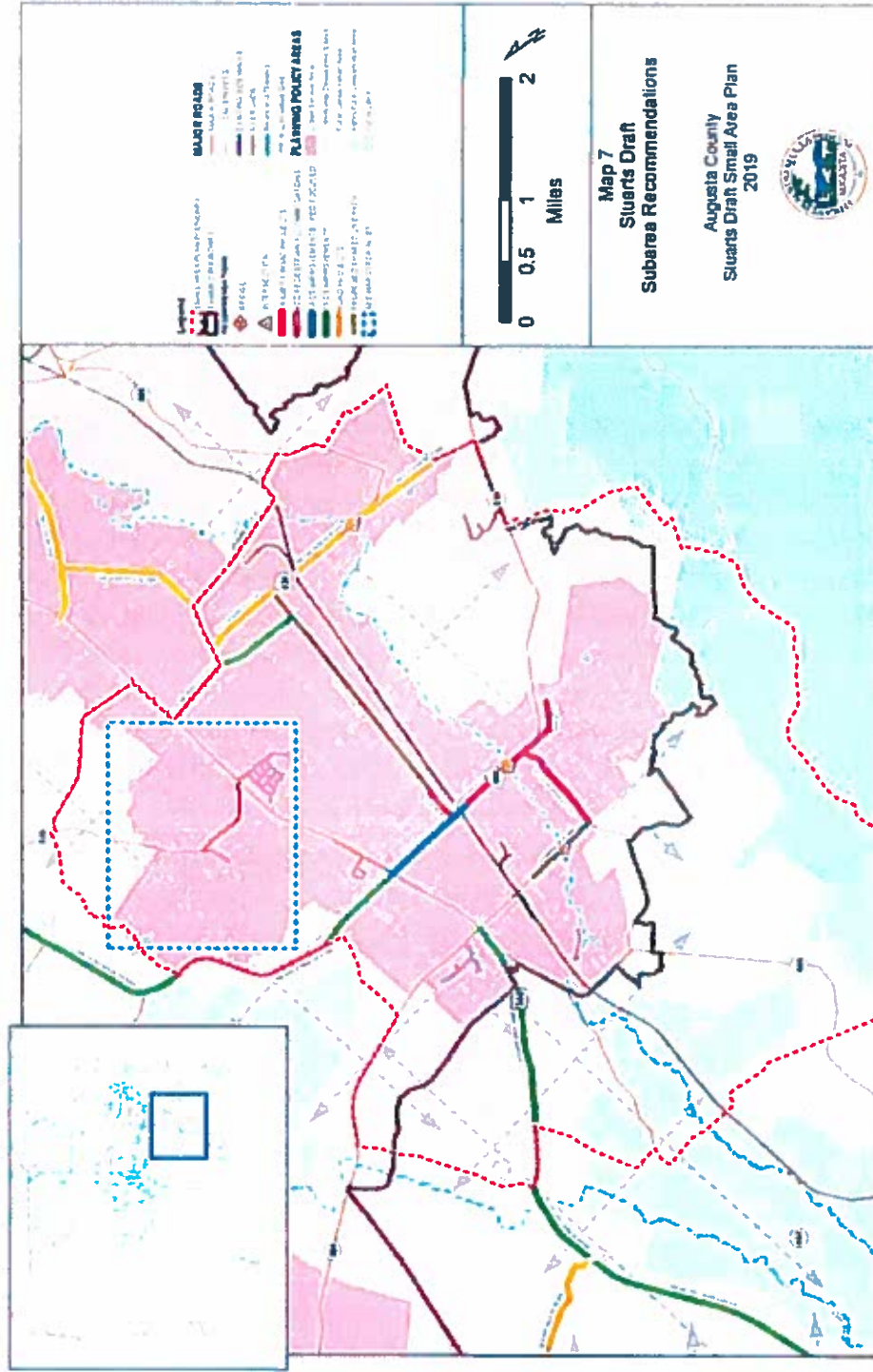
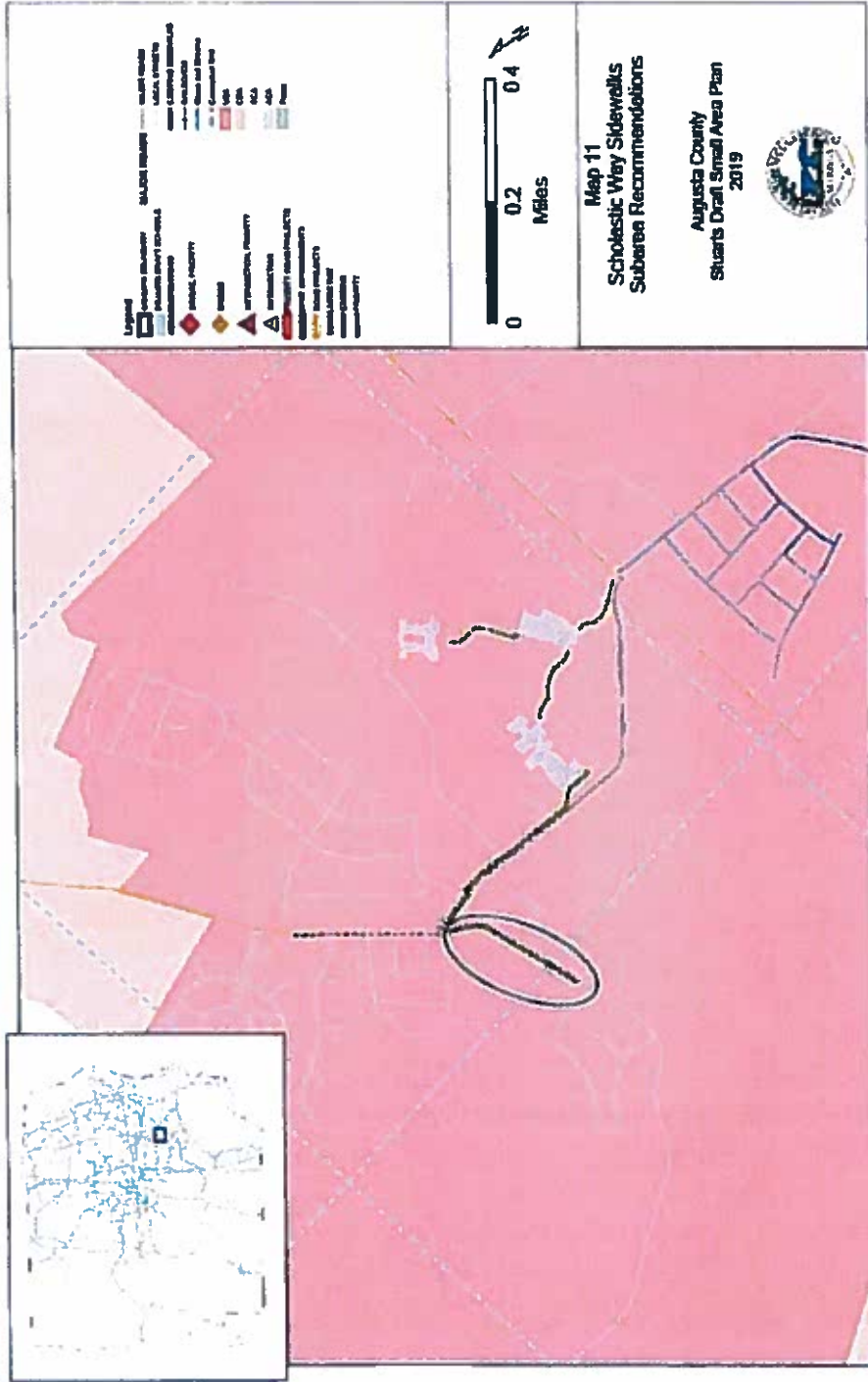


Figure 12. Scholastic Way Sidewalk Project (Update of Map 11 from Augusta County Transportation Plan 2014/2015 Update)

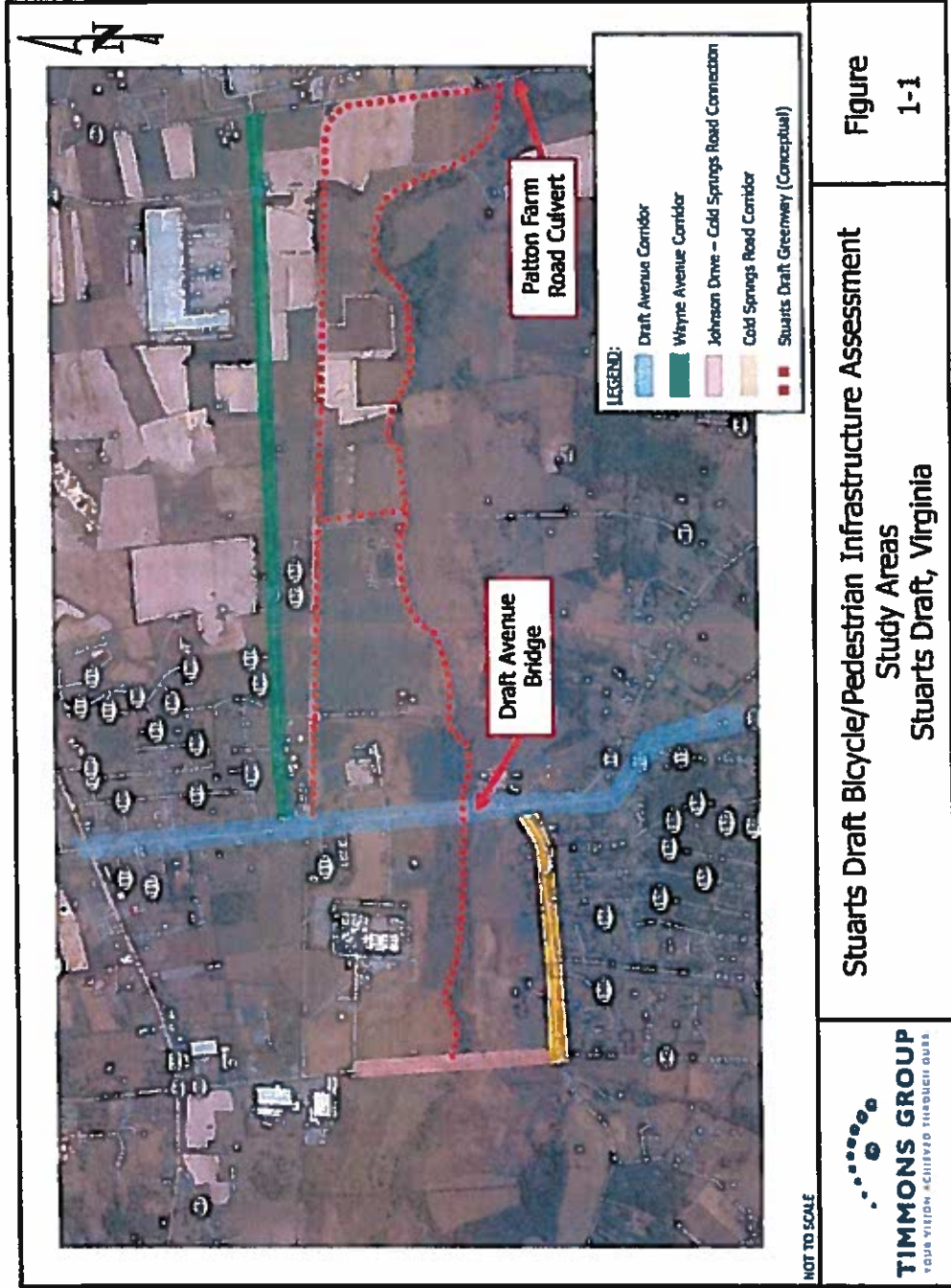


Pedestrian/Bicycle Infrastructure

Timmons Group, transportation consultant, completed a bicycle and pedestrian infrastructure assessment, identifying existing infrastructure and outlining recommendations to improve multi-modal connectivity throughout the plan area. Their analysis also includes cost estimates for a conceptual greenway and an analysis and recommendations for the Draft Avenue Bridge and Patton Farm Road culvert. Figure 11 shows the corridors, bridges, and conceptual greenway alignment from the Timmons analysis (See Appendix for complete document).



Figure 13. Corridors Evaluated by Transportation Consultants



Draft Avenue Corridor (Rt. 608)**Options for corridor improvements:**

Consider improvements to Stuarts Draft Highway and Draft Avenue intersection for ADA compliance – estimated cost is \$25,000.

Option 1: Consider filling in missing sidewalk sections along Draft Avenue, on both sides of road (one side could be pursued for cost savings), approx. 1,600 ft. estimated cost is \$1,100,000.

Option 2: Consider installing ADA-compliant pedestrian crossings along the corridor and addressing existing sidewalk deficiencies without expanding sidewalk infrastructure – estimated cost is \$450,000.

Option 3: Consider utilization of pavement markings along the corridor that delineate bicycles lanes/sharrows, pedestrian crossings, and designated parking zones – estimated cost is \$210,000.

Option 4: Consider constructing 3,700 feet of sidewalk improvements from the at-grade railroad crossing south to Cold Springs Road, along the western side of the roadway – estimated cost is \$2,270,000.

Option 5: Consider widening Draft Avenue the entire length of the roadway from Stuarts Draft Highway to Cold Springs Road to accommodate full-width bicycle and pedestrian accommodation in both directions- estimated cost is \$12,130,000.

Wayne Avenue corridor

Draft Avenue to Crestview Drive – Approximately 1,500 ft. – Consider ADA-compliant upgrades to existing sidewalks and installing new sidewalk along the south side of Wayne Avenue for connection to Schneider Community Park – estimated cost is \$950,000.

Crestview Drive to Patton Farm Road – 11,000 ft. – installation of a greenway or independent multi-use path along the south side of Wayne Avenue – estimated cost is \$2,780,000.

Cold Springs Road Corridor

Consider installation of sidewalk along the north and south sides, alternating to accommodate pedestrian generators and take into account grade cost savings. The distance from Draft Avenue to Horseshoe Circle is approximately 4,250 ft. – estimated cost is \$2,440,000



Howardsville Turnpike/Hodge Street

Consider installation of sidewalk along the western side of Howardsville Turnpike for approx. 800 ft. and along the eastern side of Hodge Street for approx. 1,900 ft., with upgrades to existing traffic signal to accommodate pedestrian signal heads and push buttons –estimated cost is \$1,700,000.

Johnson Drive/Cold Springs Road Connection

Short-term: Consider a pedestrian connection between Johnson Drive and Cold Springs Road

Stone Multi-Use Path - \$1,130,000

Asphalt Multi-Use Path - \$1,310,000

Permeable Pavement Multi-Use Path - \$1,490,000

Long-term: Full-Depth Roadway with Multi-Use path - \$7,356,191 (Note: This cost estimate was provided by VDOT and is different than the estimate provided by the transportation consultant).

Greenway

Recognizing the South River as an important visual, environmental, and recreational asset of the community, this plan evaluates a conceptual circular greenway, along the river, that would provide Stuarts Draft with an important recreational amenity in keeping with the Stuarts Draft Small Area Plan's vision statement.

The conceptual alignment shown in Figure 13, represents approximately a 7.5 mile greenway that connects Johnson Drive to Patton Farm Road along the South River and Wayne Avenue. The cost estimates for this project vary based on the type of material chosen for construction. The aggregate estimates, by material type, are listed below but for a breakdown of the aggregate estimates, see Appendix.

Stone - \$5,190,000

Asphalt - \$5,990,000

Permeable Pavement - \$8,060,000

Bridge Recommendations

In addition to the pedestrian/bicycle infrastructure assessment, Timmons Group evaluated and provided recommendation options and cost estimates for select bridges within the Stuarts Draft small area.

Patton Farm Road Bridge

Consider conducting a detailed hydraulic analysis – estimated cost \$25,000.

Short-term – Install a railing or guardrail to prevent vehicles from leaving the roadway and entering the waterway during overtopping/flooding events – estimated cost \$40,000. A detailed hydraulic analysis would provide information on the allowable type of railing that could be installed without worsening hydraulic conditions at the crossing.

Long-term - Consideration should be given to raising the grade of the Patton Farm Road culvert crossing to prevent frequent overtopping/flooding events. Depending on the design scenario the following cost estimates are provided:

10- Year Culvert/Bridge Design - \$2,490,000

25- Year Culvert/Bridge Design - \$3,580,000

100-Year Storm Culvert/Bridge Design - \$5,260,000.

Draft Avenue Bridge

Consider a pedestrian only bridge span across the South River directly adjacent to the existing roadway bridge instead of widening the existing superstructure – estimated cost is \$2,140,000, depending on the sufficiency rating of the bridge at the time.

Depending on when the project is pursued, and the designated sufficiency rating at the time, a superstructure replacement should be investigated as a potential alternative to a full bridge replacement due to the good condition of the substructure. The preliminary cost estimate to complete an analysis of the entire bridge structure relative to superstructure widening is \$10,000.

The installation of bicycle/pedestrian accommodations on the bridge with a superstructure replacement will require the remainder of the bridge be retrofitted to meet current VDOT design standards. The preliminary cost estimate to widen the existing bridge structure to accommodate pedestrians and bicycles is approximately \$5,680,000.

See Appendix for the complete transportation consultant, Timmons Group report, including figures and cost estimate matrices.



The County shall continue to implement the Augusta County Comprehensive Plan 2014/2015 Update Transportation Plan. In addition to the recommendations outlined in such update, the County should implement the bicycle/pedestrian and bridge recommendations of this plan. It is important to note that the recommendations detailed above, from the Timmons analysis, provide a range of options and estimated costs. A prioritization of such projects should be done in consultation with VDOT, public input, and potential further study, as pursuit of funding is initiated.

Goal 1: Maintain and enhance a safe and efficient vehicular road network that supports existing uses and planned land uses and development patterns of the Stuarts Draft area.

Objective A: Utilize the most advanced technology to reduce congestion and create more efficient travel at given road capacities.

Policy 1: Smart signal technology. Work with the Virginia Department of Transportation to encourage the implementation of smart signal technology and other signal timing efforts to help roadways operate more efficiently.

Objective B: Improve primary and secondary roadways leading into Stuarts Draft.

Policy 1: Implement spot improvement and upgrade projects as identified in the Augusta County Transportation Plan 2014/2015 Update.

Policy 2: Consider evaluating the benefit of improvements to Cold Springs Road and Offlitter Road as an additional recommendation for filling out the network of streets to help alleviate congestion on certain corridors. (Not studied with this plan, recommendation for further study).

Objective C: Create alternative roads to help alleviate traffic through congested areas.

Policy 1: Evaluate the conceptual grid network as shown in the Augusta County Comprehensive Plan Update 2014/2015.

Policy 2: Focus on upgrading alternative routes as a means of alleviating congestion in a cost effective manner, prior to pursuit of new roadway alignments.

Objective D: Manage/consolidate entrances to reduce turning movements.



Policy 1: Evaluate/study the possibility of constructing a raised median for portions of Route 340.

Policy 2: Collaborate with VDOT to apply access management standards to arterials, collectors, and local streets per VDOT's Access Management Design through rezoning requests.

Policy 3: Evaluate the County's current Urban Service Overlay district which restricts the number of entrances to see if a more restrictive distance between entrances should be included as part of an entrance corridor overlay.

Objective E: Maintain and enhance transit opportunities within the Stuarts Draft community that will not only support existing development but planned growth.

Policy 1: Identify central locations for a transportation hub within the area. Coordinate such identification with the Brite public transit system and other existing and/or future regional transit opportunities.

Policy 2: Assess adequacy of current transit system serving the Stuarts Draft community and if needed, work with the Central Shenandoah Planning District Commission and Brite Bus services to incorporate additional stops/routes.

Objective F: Ensure bridges within the Stuarts Draft area are structurally sufficient and provide safe and consistent transportation routes for existing traffic and traffic associated with planned future growth.

Policy 1: At Patton Farm Road Bridge, consider installing a railing or guardrail to prevent vehicles from leaving the roadway and entering the waterway during overtopping/flooding events.

Policy 2: In the long-term, and as additional development warrants and/or funding becomes available, pursue reconstruction of Patton Farm Road Bridge.

Policy 3: At the Draft Avenue Bridge, pursue funding for a pedestrian/bicycle only bridge span across the South River directly adjacent to the existing roadway. Depending on the sufficiency rating of the structure at the time funds are pursued, project may include a complete bridge replacement with bicycle/pedestrian accommodations



Goal 2: Support and encourage a variety of transportation options to enhance mobility, including pedestrian and bicycle facilities for both recreation and transportation throughout the Stuarts Draft area.

Objective A: Build organizational public support for bicycle and pedestrian facilities within the Stuarts Draft area.

Policy 1: Establish a bicycle and pedestrian citizen advisory committee.

Objective B: Expand the existing sidewalk network and create more safe crosswalks.

Policy 1: Develop criteria for prioritization of sidewalk and bicycle infrastructure recommendations along the various corridors included in the Timmons study completed with this planning process.

(Note: The Bike Pedestrian Assessment, included in Appendix, shows sidewalks constructed to VDOT design standards, regarding buffer strips. These are conceptual figures and modifications to VDOT standards may be requested at the time of design due to site constraints or other cost prohibitive factors.)

Objective C: Look for opportunities to install shared-use path systems for all non-motorized transportation.

Policy 1: Continue to work with the public and landowners to further refine the conceptual greenway highlighted during this planning process.

Policy 2: Pursue funding of a greenway within the Stuarts Draft community as is conceptually shown in Figure 10.

Policy 3: Develop criteria for prioritization of greenway segments for funding, which may include segments providing transportation and recreational importance.

Objective D: Develop traffic calming techniques through pedestrian-oriented streetscape design.

Policy 1: Where possible, utilize pavement markings, such as bicycle sharrows, pedestrian crossings, and designated parking zones as a means of traffic calming.

Policy 2: Develop traffic calming techniques within residential communities and other areas by developing pedestrian-oriented



streetscape design. For example, in denser, lower speed areas, encourage buildings to locate close to the street right of way, encourage parking to locate behind buildings where possible, allow on-street parking, and provide streetscaping amenities. Consider areas where road widening is anticipated when developing.

Policy 3: Pedestrian-scale lighting and street trees should be encouraged to be located in the setback strips between the roadways and sidewalks to help buffer pedestrian from vehicular traffic.

B. Agriculture

The Stuarts Draft community, as described in the vision statement, is born of agriculture and agriculture still maintains a prevalent land use within the community. As this plan, in follow-up of the Augusta County Comprehensive Plan, recognizes, the Stuarts Draft community is an area designated for business, industrial, and residential growth. However, there are areas within the small area that are designated as Agricultural and Rural Conservation Planning Policy Areas. The goals, objectives, and policies described below apply mainly to such areas.

Goal 1: Support the agricultural heritage of the Stuarts Draft community and maintain the economic strength of existing agricultural operations.

Objective A: Proactively promote agriculture as the roots of the community to ensure all residents respect farmland and farming practices.

Policy 1: Informational signage. Utilize Stuarts Draft welcome signs as an educational tool for Stuarts Draft's agricultural history and present.

Policy 2: Agricultural Tourism. The County should collaborate with and provide information to existing agricultural operations in Stuarts Draft related to the development of agri-tourism businesses. Such discussions should include both an economic development and land use perspective.

Goal 2: Protect and support existing agricultural operations within and adjacent to the Stuarts Draft small area from conflicts with other land uses and from conversion to other land uses as is in accordance with the Future Land Use Map and Planning Policy Areas.



Objective A: Support current agricultural uses through zoning and create a welcoming environment for additional agricultural growth by minimizing conflicts between residential, commercial, industrial uses and agricultural operations.

Policy 1: Buffers. Natural buffers should be included at the outside edges of residential subdivisions and commercial/industrial development that border the Rural and Agricultural Conservation areas within and adjacent to the Stuarts Draft area.

Policy 2: Clustering. The County should encourage new development in Stuarts Draft to be clustered in a manner that preserves quality agricultural land within and adjacent to the Stuarts Draft small area. Clustering should be encouraged near the edges of the Community Development Areas that border the Rural or Agricultural Conservation Areas in order to establish natural buffers.

Policy 3: Conservation easements. Encourage conservation easements on Rural and Agricultural Conservation areas within and surrounding the Stuarts Draft small area.

C. Land Use and Development

Using data from the Augusta County Commissioner of the Revenue, responsible for determining the taxable use and value of all real property within the County, a snapshot of current land use for the Stuarts Draft community is provided below.

As shown in Table 6, the predominant current land use within the Stuarts Draft area is open space and/or agricultural. This land use category includes the following: forest, active agriculture operations, grazing operations, and federal parks and state owned land. The second highest land use category within the community is residential, which is predominantly single family with only about 114 acres used for multi-family (0.7% of total). Although, it is important to note that acres used for multi-family development does not translate to number of units as multi-family developments are denser than other residential developments.



Table 6. Current Land Uses in Stuarts Draft

Land Use Category	Land Area (acres)	Percent of Total
Open Space/Agricultural	6,950	42.4%
Residential	6,235	38%
Public Use/Public Lands	1,913	11.7%
Commercial and Industrial	1,146	7.0%
Churches/Non-Profit	163	0.9%
Total	16,407	100%

Source: Augusta County Commissioner of Revenue Real Estate Records

Note: The acreage total above does not add up to all land in the Stuarts Draft Small Area, likely because some of the acreage data is missing in the Real Estate Records; however, the above chart provides a snapshot of current land uses within the community.

Table 7 shows land area in acres by zoning classification. In order to describe the differences between Table 6 and Table 7, one must understand the difference between current zoning classifications and actual land use as identified by the Commissioner of Revenue. For example, property that is zoned agriculture has a residential use allowed within that zoning classification. Therefore, you can see in Table 6 that over 6,000 acres are classified as residential by the Commissioner of Revenue, while a little over 2,500 acres are actually zoned for residential development. In contrast, Table 7 shows that over 75% of the land in Stuarts Draft is zoned for agriculture, while the Commissioner of Revenue data shows just over 42% as actually being classified as open space or agricultural.

Table 7. Current Zoning in Stuarts Draft

Land Use Category	Land Area (acres)	Percent of Total
Agriculture	12,436	76.9%
Residential	2,561	15.9%



Commercial and Industrial	1,170	7.2%
Total	16,167	100%

Source: Augusta County Community Development Zoning Layer Data

Although not representative of land use by acreage as is presented in the above tables, Table 8 shows the number of existing structures within the Stuarts Draft small area that are identified as agriculture, residential, or commercial and industrial. The agriculture category represents livestock structures, barns, poultry houses, and silos. The residential structure category is cumulative of single family homes (including stick built and modular), mobile homes, multi-family dwellings, townhouse/condominium, and duplexes. Lastly, the commercial and industrial category is made up of business, industrial, restaurant, and gas station dwelling codes.

As is expected, agriculture, although making up close to half of the current land use for Stuarts Draft by acreage, is representative of only 2.7% of the existing structures within Stuarts Draft. Residential land use constitutes approximately 38% of the Stuarts Draft small area but makes up 93% of the existing structures.

Table 8. Existing Structure Classification in Stuarts Draft

Structure Classification	Number of structures	Percent of Total
Agriculture	142	2.7%
Structure Classification	Number of structures	Percent of Total
Residential	4,921	93.1%
Commercial and Industrial	222	4.2%
Total	5,285	100%

Goal 1: Preserve and enhance the strong sense of community and small town character of the Stuarts Draft area.



Objective A: Cultivate a sense of place within the Stuarts Draft small area so that residents and visitors can clearly identify where the community begins and ends, and where its center is located.

Policy 1: Entrance Corridors. Consider developing an entrance corridor overlay district for the main transportation corridors, especially Route 340, by which vehicles and pedestrians enter the Stuarts Draft community. An entrance corridor overlay district may include regulations for landscaping, pedestrian access, building height, setbacks, access management, signage, lighting, etc. The intent of the overlay district shall not only be to preserve and enhance a sense of place but to provide a well-maintained and aesthetically pleasing entrance to the community.

Policy 2: All lighting should be down lit so as to preserve the areas “dark skies.”

Objective B: Maintain and improve the character of the existing urban development in the Stuarts Draft area.

Policy 1: Signage and Lighting. The County should encourage existing business and residential developments to design their exterior lighting and sign designs in order to lessen their impact on surrounding properties. Limitations on signs sizes and number of signs should be considered to prevent sign congestion, especially along important entry corridors.

Policy 2: Preservation of Open Space. The County should encourage the preservation of open space within and immediately surrounding existing development where it serves as an integral part of the development.

Policy 3: Redevelopment of Vacant Business Structures. The county should encourage the re-use and redevelopment of vacant structures on business or mixed-use zoned property, where possible, especially in the historic downtown.

Policy 4: Architectural Character. New development in the Stuarts Draft area, particularly that which takes place on infill parcels, should not sharply contrast with existing neighboring structures with regards to scale, placement, materials, colors, or other architectural details.



Objective C: Preserve the rural nature of the Community Development Areas located in the Stuarts Draft small area.

Policy 1: Community Development Areas. In order to protect the scenic, agricultural and environmental quality of the Community Development Areas, the County should encourage development within these areas to preserve as much quality open land as possible so as to create a transition from Urban Service Areas and the less developed Agricultural and Rural Conservation Areas.

Goal 2: Encourage new development in the Stuarts Draft area to occur in a compact, orderly, and coordinated pattern, with appropriate transitions between new development and existing development

Objective A: Enhancement/revitalization and extension of Stuarts Draft's historic downtown

Policy 1: Village Mixed Use zoning. Consider Village Mixed Use zoning for historic downtown as a means of retaining the character of the established downtown which historically provided social and economic services for the community. Such zoning designation creates flexibility of uses to aid in revitalization.

Policy 2: Pursue grant funding opportunities for downtown revitalization, whether economic incentives or streetscape projects.

Objective B: Prevent conflicts between residential, business, and industrial uses as well as agricultural uses located in adjacent Rural Conservation and Agricultural Conservation areas.

Policy 1: Rezoning approvals. Requests for increased residential densities for specific sites should be evaluated in terms of the Stuarts Draft Future Land Use Map, the pattern of existing development in the vicinity of the site, road access, and available and planned public facilities.

Policy 2: Buffers. The placement of buffers to provide transition between uses of differing densities or intensities should be strongly encouraged. Buffers should use existing topography and vegetation to the maximum extent possible and should provide additional buffer elements whenever necessary.



Policy 3: Encourage low density residential uses as a transition to rural areas and protected open space.

Objective C: Support existing agricultural and industrial operations and create opportunities for growth, in accordance with the future land use map.

Policy 1: As has been the case for existing industrial development in the community, continue to support clean industries with well-designed facilities that protect natural resources and blend into the existing community, and which are setback from main thoroughfares.

Policy 2: Encourage and support expanded agricultural operations as a means of framing the urban areas of the community.

Objective D: Provide multiple options for residential development that will provide adequate housing alternatives for all of Stuarts Draft's residents.

Policy 1: Consider the effect ordinance amendments may have on creating or limiting available housing options within the various zoning districts.

Policy 2: Hold informational community meetings with property owners within the planned Village Mixed Use district to see if rezoning of the area is desirable as a means of providing flexible, additional housing types to coexist with business development.

Policy 3: Utilize the Future Land Use Map and respective future land use designations in evaluation of land use applications as such map provides for a range of housing densities/types as is dictated by the market.

Objective E: Provide sufficient land area for business and industrial uses that are necessary for the effective operation of Stuarts Draft's economy and to provide quality shopping and employment options within the community.

Policy 1: Rezoning/development applications for areas designated Neighborhood Mixed Use should recognize that compatible commercial land uses are an important part of such concept as a means of creating walkable, convenient communities, aesthetically pleasing communities.

Policy 2: Industrial defined uses can apply to a wide range of categories. This plan recognizes the importance of utilizing future planned industrial areas for high employment generating uses and uses that aid in the diversification of the economy.



Objective F: Encourage a development pattern that provides a convenient, safe, aesthetic, and efficient network of urban land uses, which is pedestrian and bike friendly.

Policy 1: Curbs, Gutters, and Sidewalks. All new development in the Stuarts Draft small area should include curbs, gutters, and sidewalks or multi-use paths, particularly in those areas identified as appropriate for business, industrial, mixed use, or residential development at densities of 3-4 units per acre or higher.

Policy 2: Development Pattern. The County should encourage Stuarts Draft to develop with compact, mixed-use, pedestrian-oriented neighborhoods which combine a range of residential types and densities with neighborhood commercial business uses in a convenient, coordinated, and interconnected pattern. More intensely developed areas should maintain a human scale while less intensely developed areas should retain as much of the natural landscape as possible.

D. Environmental and Natural Resources

The Stuarts Draft small area provides a wealth of unique natural resources that this plan aims to protect and remain sensitive to in the context of surrounding development. Furthermore, as the vision statement intends, natural resources not only provide a benefit to those living in the community but those visiting the community and such resources should be linked to the various business and residential developments with multi-use paths and sidewalk infrastructure.

One unique natural resource is the Cowbane Natural Area Preserve which was expanded in 2017 to include a total of 147 acres. This Natural Area Preserve is representative of wet prairies, mesic prairies, and calcareous spring marshes which were once common in the Shenandoah Valley but have been affected over time by agriculture and developed land uses⁴. Pedestrian access to this important asset will be enhanced by the proposed Johnson Drive/Cold Springs pedestrian connection discussed in the previous section.

⁴ Cowbane Prairie Natural Area Preserve. August 22, 2019. Retrieved from Virginia Department of Conservation and Recreation: <https://www.dcr.virginia.gov/natural-heritage/natural-area-preserves/cowbane>



In addition, perhaps the most important and wide reaching natural resource within the Stuarts Draft small area is the South River which runs east to west through the community. Development projects along the South River should complement the river, using it as an asset in low impact design. A greenway along the South River will aid in the establishment of desired buffer areas.

Surface water bodies are generally grouped into watersheds. A watershed is an area of land that drains water to a particular point along a stream, river, or other waterbody. The boundaries of a watershed are defined by the highest elevations surrounding the waterbody. The Stuarts Draft small area lies within the South River and Christians Creek Watersheds. The South River is listed on the Virginia Department of Environmental Quality Draft (DEQ) 2018 Impaired Waters List. The South River and Christians Creek Watersheds were also the subject of a Water Quality Improvement Plan completed by DEQ in 2010.

The impaired segments included from the 2010 plan include:

South River:

Headwaters downstream to its confluence with Stony Run and then from the confluence with Stony Run downstream to its confluence with Back Creek. The impaired use is recreation, the specific impairments are E. coli and Fecal Coliform bacteria. The sources of the impairment are wildlife other than waterfowl, non-point sources and agriculture.

Impaired Tributaries:

The following tributaries; Loves Run, Johns Run, Coles Run, and Kennedy Creek and tributaries, are impaired from the headwaters to the confluence with South River. The impaired use is aquatic life, the specific impairment is pH. The source of the impairment is atmospheric deposition-acidity.

Stormwater regulations and streambank restoration, in addition to livestock exclusion, are other important components of protecting the community's unique environmental and natural resources. Figure 12 provides a location reference for stormwater focus areas and identified drainage improvement project areas within the Plan boundary.

Figure 13 shows the floodplain and the source water protection overlay of the zoning ordinance within the Stuarts Draft area. The source water protection ordinance serves to protect the public health, safety and welfare by preventing adverse impacts due to contamination of water or loss of water in aquifers which currently serve as groundwater supply sources. The source water protection boundaries represent a 250



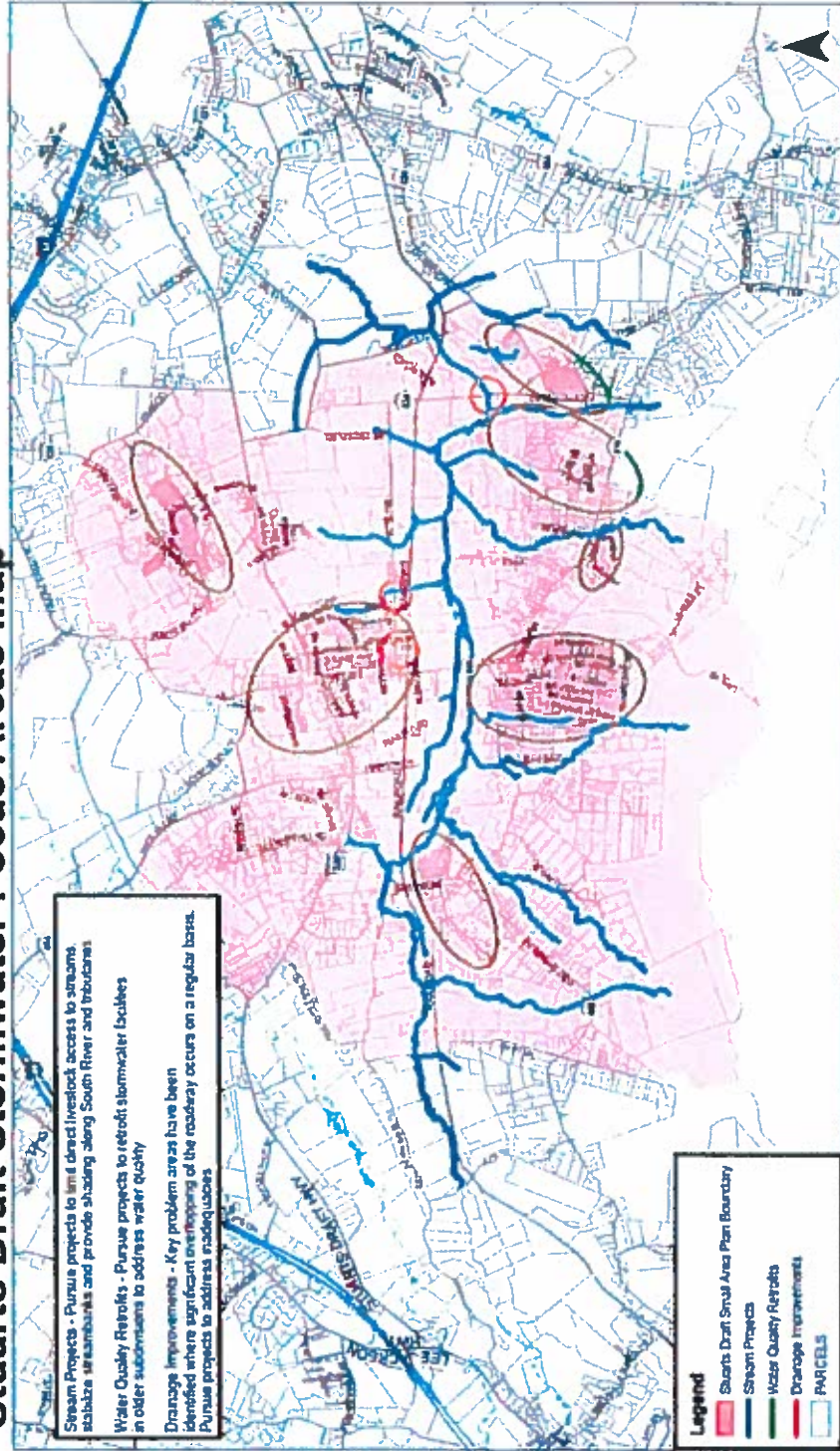
ft. fixed radius around the public water supply, an Area 1 of 1,000 ft. fixed radius around the public water supply, and an Area 2 which is identified through groundwater mapping and testing. The ordinance exempts agricultural and forestry uses, provided best management practices are used, and normal on-site residential uses within Areas 1 and 2. Area 1 prohibits a list of uses that could lead to contamination and Area 2 prohibits a much smaller list of uses, while allowing some uses prohibited in Area 1 with a, provided specific prevention measures are taken. The delineations shown in Figure 13 are part of the current zoning ordinance. This plan does not propose any changes.

Figure 13 also shows the boundaries of the floodplain with the Stuarts Draft community. The floodplain overlay ordinance regulates development within the floodplain. This Plan, encourages a conceptual greenway alignment along the South River and further proposes buffers, streambank restoration, and other measures to protect the South River.



Figure 14. Stuarts Draft Stormwater Focus Areas Map

Stuarts Draft Stormwater Focus Areas Map



Goal 1: Protect the integrity of Stuarts Draft's natural environmental systems.

Objective A: Prohibit development in sensitive areas and encourage environmentally sensitive development.

Policy 1: Consider adoption of a thirty-five (35) foot overlay buffer ordinance on either side of streams and wetlands.

Objective B: Utilize natural features for recreation, education and tourism

Policy 1: Apply for grant funding for the establishment of a greenway along the South River.

Goal 2: Promote appropriate strategies to protect water quality and control runoff and flooding.

Objective A: Pursue projects to limit direct livestock access to streams, stabilize streambanks and provide shading along the South River and tributaries.

Policy 1: Collaborate with Headwaters Soil and Water Conservation staff to support livestock exclusion, manure storage, and other soil and water quality related projects.

Policy 2: Pursue funds to implement streambank projects that will provide the most water quality improvement at the lowest cost.

Objective B: Pursue projects to retrofit stormwater facilities in older subdivisions to address water quality.

Policy 1: Using the subdivisions highlighted in the "Stuarts Draft Stormwater Focus Areas Map," evaluate and study retrofit projects that will provide the most water quality improvement at the lowest cost.

Objective C: Promote strategies to control flooding.

Policy 1: Using the drainage improvement areas highlighted on the "Stuarts Draft Stormwater Focus Areas Map," evaluate, study, and implement drainage improvement projects.

E. Parks and Recreation

Stuarts Draft Park is one of the most used parks in the county. The park is approximately 13 acres located adjacent to Guy K. Stump Elementary School. The park



shares an access road, Kiser Court, with the school. In the fall of 2003 construction of Stuarts Draft Park began and the park was officially opened to the public in 2004. On Memorial Day weekend of 2005, the pool at this facility was opened. In 2016 an amphitheater was built near center field of the Kiser ball field and terraced seating for 200 people was completed for the amphitheater in 2017. The amphitheater was dedicated to a notable community member in July of 2017 and named the John W. Swett Amphitheater. The park is home to the following amenities: park picnic shelter, junior Olympic size pool, pool picnic shelter, pool house, amphitheater, playground, swing set, crushed gravel walking trail, two softball fields and two multipurpose/soccer fields.

The 2003 Augusta County Parks, Recreation and Open Space Master Plan, defined the Stuarts Draft Park as a Community Recreational Facility (CuRF), which serves the immediate needs of a local or an adjacent community and should be located adjacent to an existing community school, church or within an existing park.

A step up from the CuRF is the Major Park Recreational Facility (MPRF) category which is intended to serve several communities within one or two magisterial districts. The Augusta County Parks and Recreation Master Plan Update, while still ongoing, envisions the potential development of Stuarts Draft Park into a MPRF so as to accommodate the growing community as well as to serve adjacent magisterial districts.

Another County owned facility, The Diamond Club, leased to a private group for management and maintenance is a unique, baseball specific, recreational asset for the Stuarts Draft community.

In addition to Augusta County owned recreational facilities, Schneider Community Park, owned by the Stuarts Draft Ruritans Club, provides an important recreational asset for the community.

Goal 1: Establish and maintain parks and recreational facilities that are efficient, effective, and readily available to all residents of the Stuarts Draft small area.

Goal 2: Provide quality recreational programming that educates, enriches, entertains, and provides fellowship opportunities to the Stuarts Draft area.

Objective A: Maintain and improve upon existing park facilities.

Policy 1: Allocate funding for needed park improvements that will help reduce maintenance costs.



Policy 2: Allocate funding for “small/less expensive” improvements to existing facilities that will enhance recreation. For example, additional fields, amenities, adding additional trail segments to lengthen routes, etc.

Objective B: Expand park, community, and greenspace facilities.

Policy 1: Identify land for park expansion. The County should work to find appropriate locations for the expansion of park facilities. Such sites should allow for incremental park expansions to existing Stuarts Draft Park as well as collaboration with the public school system in expanding existing athletic facilities that would be open to all county residents.

Policy 2: Additional greenspace. Set aside additional land for open space along Route 340 so as to create pockets of potential recreational opportunities amongst development areas.

Policy 3: Community Center. The County should work to find appropriate locations to utilize an existing building or identify a vacant site for the development of a community center.

Policy 4: Greenway. The County should pursue grant funding for the development of a greenway and other open space facilities along the South River.

Policy 5: Collaboration. The County should continue to support non-county owned recreational facilities within the small area, recognizing such facilities as valuable community assets.

F. Economy

The Stuarts Draft Small Area is home to 4 of Augusta County’s top ten employers. McKee Foods Corporation is ranked #3, Hershey Chocolate of Virginia is ranked #4, Target Corporation is ranked #6, and Hollister, Inc. is ranked #7.

The 2013-2017 ACS 5-Year Estimates estimate 4,798 civilian employed population 16 years and over within the Stuarts Draft CDP. Of those 4,798 civilian employees, 52.7% are male and 47.3% are female. The three top industry employment sectors in the



Stuarts Draft CDP are educational services and health care and social assistance (24.05%), manufacturing (20%), and retail trade (18%). For comparison, the three industry sectors listed above are also the largest employment industries for Augusta County as a whole, although the percentages for manufacturing and retail trade are higher for the Stuarts Draft CDP when compared to the County at 13.8% and 12.7% respectively.

The Stuarts Draft CDP, according to the 2013-2017 ACS 5-Year Estimates, is very similar, although slightly lower, when compared to Augusta County as it relates to median household income and median earnings as is demonstrated in Table 9 below. In addition, the Stuarts Draft CDP has a slightly higher percentage, at 2 percentage points, of individuals below the poverty level than Augusta County.

Table 9. Selected Economic Statistics

	Stuarts Draft CDP	Augusta County
Median Household Income	\$53,705	\$59,544
Median Earnings	\$31,020	\$31,170
Percent of Individuals Below Poverty Level	10.8%	8.8%

Another important assessment of an area's economy as it relates to effective land use planning is the in and out commuting statistics of a community. According to American Community Survey 5-year estimates 2013-2017, a little over half (50.5%) of Stuarts Draft CDP workers commute to work within Augusta County and a little under half, although almost evenly split (49.5%), commute to work outside of Augusta County. Such a statistic does appear to support the assumption that Stuarts Draft is somewhat of a bedroom community for those employed across the mountain in Charlottesville and surrounding areas; however, more detailed commuting survey data would need to be obtained for a more substantive conclusion.

Furthermore, based on the same dataset referenced above, approximately 80% of workers living within the Stuarts Draft CDP work outside of the CDP and 20% work within the CDP. This estimate suggests that although Stuarts Draft is home to 4 of



Augusta County's top ten employers, a significant number of those working in those manufacturing establishments do not live within the Stuarts Draft CDP, but draw employees from other parts of the County and beyond.

Land east of Patton Farm Road to the plan's eastern boundary and beyond, has been designated as a Qualified Opportunity Zone (QOZ) within Augusta County. The impetus for this designation can be found in the federal 2017 Tax Cuts and Jobs Act. Capital gains received by a taxpayer from a sale can contribute the capital gains into a Qualified Opportunity Zone Fund. The fund invests the capital gains into a QOZ designated property and defers the realization on the capital gains tax. The program aims to spur investment in QOZ's through the tax incentive.

Goal 1: Promote a diversified economy that encourages entrepreneurs, supports existing businesses, and attracts new employers.

Objective A: Support existing industrial and commercial businesses.

Policy 1: Existing industries. The County should maintain and continue to strengthen their relationship with existing industries in Stuarts Draft. The County should work with existing industries to facilitate desired expansions and ensure the industry operations continue to function successfully.

Objective B: Create a welcoming environment for additional economic growth

Policy 1: Target industries. The County should attempt to attract a specific sector of industries/businesses to support surrounding uses such as the medical growth in nearby Fishersville or the existing concentration of food and beverage companies in Stuarts Draft and Augusta County as a whole.

Policy 2: Promote business opportunities to support tourism. The County should utilize tourism marketing to highlight the many natural resources within the Stuarts Draft area.

Policy 3: Greenway and bike/pedestrian infrastructure. The County should encourage the development of such infrastructure, recognizing the impact such development can have on attracting additional economic growth as industries are looking for places with a strong sense of place and which have a multitude of recreational amenities to attract and retain employees.



Policy 4: The County should review and evaluate ordinances to create flexibility for tourism related businesses to co-exist with associated natural resource areas that may not have the infrastructure accustomed to business development.

Policy 5: Preserve industrial lands identified on the future land use map for employment generating uses.

G. Historic Resources

Stuarts Draft has two structures listed on the National Register of Historic Places. The Harper House, built in 1888 and located on Route 340, was listed on the register in 2006. The structure belongs in the Italianate architectural style, and the register lists periods of significance from 1850 to 1949⁵. According to the National Register of Historic Places Registration Form, the Harper House is not the only contributing structure on the property. The inventory also includes a meathouse, workshop, garage, windmill support and granary as contributing structures⁶.

Another resource, The Bare House and Mill, built around 1857 in the Greek Revival Italianate style is located off Wilda Road and was listed on the register in 2002⁷.

While not listed on the National Register, the historic downtown of Stuarts Draft, along Draft Avenue, is identified by the community as an important historical asset.

A historical marker in Stuarts Draft, commemorates the birth of John Colter in Stuarts Draft in 1775. John Colter was a member of the Meriwether Lewis and William Clark Expedition, during which he crossed the area we now know as Yellowstone National Park⁸. The historic Colter house and farm is located off of Locust Grove Lane.

⁵ *National Park Service*. (n.d.). Retrieved from NP Gallery Digital Asset Management System: <https://npgallery.nps.gov/AssetDetail/NRIS/05001623>

⁶ *National Register of Historic Places Form – Harper House*. 12/15/2005. Retrieved from Virginia Department of Historic Resources: <https://www.dhr.virginia.gov/historic-registers/007-0233/>

⁷ *National Park Service*. (n.d.). Retrieved from NP Gallery Digital Asset Management System: <https://npgallery.nps.gov/AssetDetail/NRIS/02001364>

⁸ *John Colter*. Retrieved from Wikipedia: https://en.wikipedia.org/wiki/John_Colter_on_September_19, 2019.



Goal 1: Identify and preserve the physical integrity of existing historic structures and resources.

Objective A: Utilize all available historic resource information for Stuarts Draft in County decision-making.

Policy 1: The County should collaborate with local preservation organizations in the update/obtainment of a historic resources survey/database.

Goal 2: Foster new development that is compatible with Stuart Draft's historic and scenic character.

Objective A: Support efforts to revitalize historic downtown.

Policy 1: Public Education Efforts. The County should support and work with local preservation organizations and individual community members to educate the citizens of Stuarts Draft on the historic resources that are found in the community and how such resources contribute to a strong sense of place.

Policy 2: Historic Tourism Efforts. The County should support and collaborate with local preservation organizations and individual community members on possible ways to utilize interpretive signage or even smart phone applications to highlight historic downtown.

Policy 3: Context sensitive design. The County should encourage any development that occurs in or near Stuarts Draft's historic downtown and other historic assets to incorporate creative and sensitive design so as to reduce a jarring juxtaposition with existing historic character.

Policy 4: Adaptive reuse. The County should encourage the adaptive reuse of existing historic structures.



H. Housing

The Stuarts Draft small area provides a variety of housing types for its residents. Table 10 below further breaks down the existing structure data, reviewed in the Land Use Chapter, by residential type.

As the below table shows, the Stuarts Draft area has an existing inventory of 4,921 residential structures. Over 75% of the existing residential structures are single family dwellings. The second and third largest percentage of residential structures are multi-family (10.4%) and mobile homes (9.2%). It is important to note that the 513 multi-family structures shown below each represent an individual apartment unit. In other words, there are 513 individual apartments within the Stuarts Draft small area.

As was identified in the residential building permit data in Table 3, from 2014 to October 2018, approximately 1,216 residential units were built, excluding manufactured/mobile homes. In order to compare that data to the data in Table 10, we will subtract the mobile home structure number of 452 from the total 4,921 for 4,469 total structures, excluding mobile homes. This means that approximately 27% of all existing Stuarts Draft residential structures were built from 2014 to October 2018.

In addition to the 513 multi-family units existing, there is approximately 57 acres of land currently zoned multi-family residential that is not developed, this number removes a 53.9 acre parcel that is zoned multi-family residential but is owned by the state and conserved for recreation and environment protection purposes, taking it out of the possibility for residential development. Approximately 124 acres is zoned multi-family residential within the Stuarts Draft small area, of which approximately 57 acres have yet to be developed, leaving about 46% of the total multi-family zoned land for future development.

In addition to the 57 acres of land zoned and not developed, there is approximately 51 additional acres that are planned for multi-family residential development in the Stuarts Draft Small Area Plan Future Land Use Map.

In comparison to Augusta County as a whole, the Stuarts Draft small area has approximately 29.6% of the County's total existing multi-family dwelling units.

Table 10. Existing Residential Structures in Stuarts Draft by Type

Residential Structure Type	Number of structures	Percent of Total



Single Family	3,812	77.5%
Modular	63	1.3%
Mobile Home	452	9.2%
Multi-Family	513	10.4%
Townhouse/Condominium	63	1.3%
Duplex	18	0.4%
Residential Structure Type	Number of structures	Percent of Total
Total	4,921	100%

Table 11 shows that the Stuarts Draft CDP has a slightly higher percentage of occupied units and corresponding lower percentage of vacant units when compared to Augusta County as a whole and the state of Virginia. Table 11 also shows that the Stuarts Draft CDP has a slightly higher percentage of owner-occupied units than the state but lower than Augusta County as a whole. Lastly, Table 11 demonstrates the owner occupied housing value in the Stuarts Draft CDP is slightly lower at just over a \$16,000 difference than the countywide median owner-occupied value.

Table 11. Selected Housing Statistics

	Stuarts Draft CDP	Augusta County	Virginia
Occupied Housing Units	94.6%	89.5%	89.6%
Vacant housing units	5.4%	10.5%	10.4%
Owner-occupied	69.7%	79.1%	66.2%
Renter-occupied	30.3%	20.9%	33.8%
Median Owner-occupied value	\$190,100	\$206,300	\$255,800



Median Gross Rent	\$924	\$857	\$1,166
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Source: American Community Survey 5 year estimates 2013-2017

Goal 1: Promote housing that creates a strong sense of community and ensures a range of housing types and values for all residents of the community.

Objective A: Ensure the provision of a variety of housing types and values that will meet the needs of all Stuarts Draft residents, from renters and first-time home buyers to aging homeowners.

Policy 1: As identified on the Future Land Use Map, encourage mixed use development that not only includes a mix of residential and business development but a mix of housing forms and sizes, such as townhomes, one-level duplexes, housing for multi-generational families, etc.

Policy 2: Housing developments within the Stuarts Draft area should be affordable and accessible to critical members of the community such as teachers, fire fighters, police officers, and those working in industry within the small area and beyond.

I. Library

The Stuarts Draft Library opened in October 2017 in a storefront in Broadmoor Plaza which fronts on Route 340. In addition to standard public library services, a meeting room available for use when the library is closed and two study rooms are popular with patrons.

Originally open three days a week for twenty hours, high use resulted in the addition of another eight-hour day by July 2018. Demand for service remains high, with increases between fiscal years 2018 and 2019 of 90.9% in check-outs, 96.3% in patrons, and 145% in use of the Wi-fi. It is estimated that these numbers will continue to grow as will public demand for additional programs, meeting room space, and operating hours.

In the short-term, the County should explore extended hours at the existing library and hiring additional staff. In the longer term, the County should explore locations for the expansion of services including building a standalone facility to serve the Stuarts Draft growth area.



Specific goals for the Stuarts Draft Library fall under the following Strategic Directions as listed in the Strategic Plan 2018-2021 for the Augusta County Library.

Strategic Direction 1: Obtain the resources needed to meet our strategic directions, mission statement, and service responses.

Goal 1: Increase library services at Stuarts Draft to the same level as Churchville Branch Library.

Objective A: Add an additional one to two eight-hour days of service.

Objective B: Obtain funding for 2 FTE's.

Objective C: Plan for the future of the Stuarts Draft Library including the development of a building plan for a new facility.

Strategic Direction 2: Build Our Library community.

Goal 1: Provide inviting places, conveniently located with programs for all ages.

Objective A: Work with the Augusta County Library Foundation to begin a fundraising campaign to build a larger library.

Objective B: Provide a regular schedule of programs for all ages, primarily for preschoolers and youth.

Objective C: Continue the annual September Stuarts Draft History displays and programs.

Strategic Direction 4: Provide exceptional public library service.

Goal 1: Maintain a varied collection of materials and services based upon expressed community interests.

Objective A: Continue to develop the collection based on community requests.

Objective B: Provide additional technology training opportunities for the public.

Objective C: Provide weekly preschool storytimes.

Objective D: Recruit and train additional volunteers, including teens.

J. Public Education



The Stuarts Draft small area is served by two high schools, two middle schools, and three elementary schools. A significant majority of the small area is served by Stuarts Draft High School and Stuarts Draft Middle School. A small portion of the small area, located along the western edge of the small area plan boundary, is served by Riverheads High School, Beverley Manor Middle School, and Riverheads Elementary School. The other two elementary schools serving the small area are Stump Elementary School and Stuarts Draft Elementary School. Stump Elementary School serves a central portion of the small area and Stuarts Draft Elementary School serves the northern and eastern portion.

Of the seven schools serving the small area, four are located within the small area plan boundary. Figures 12-14 show the areas served by each of the schools as well as the locations of those school facilities within the community. (Note: The maps below clip the school district boundaries by the plan boundary).



Figure 16. High Schools Serving the Stuarts Draft Small Area

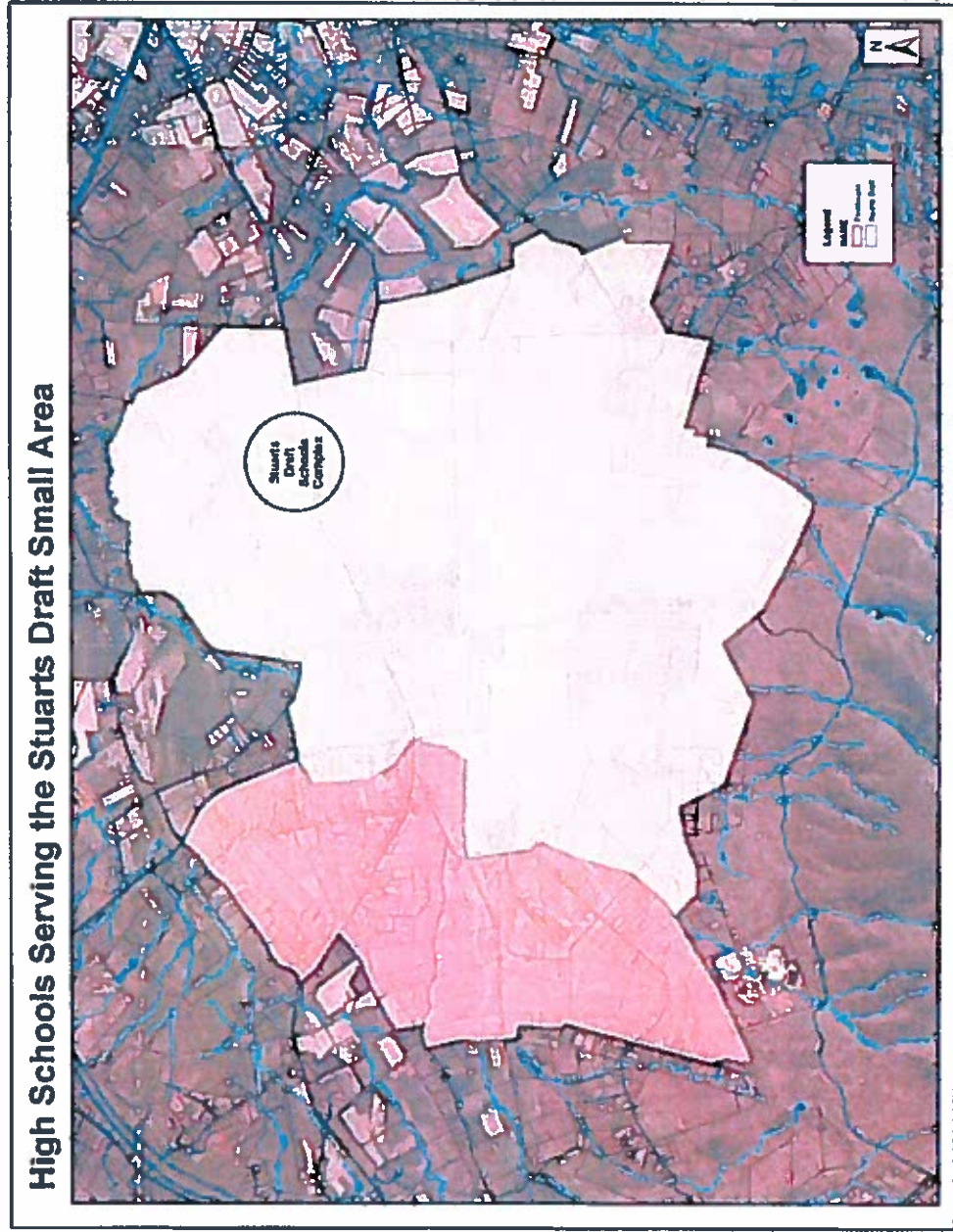


Figure 17. Middle Schools Serving the Stuarts Draft Small Area

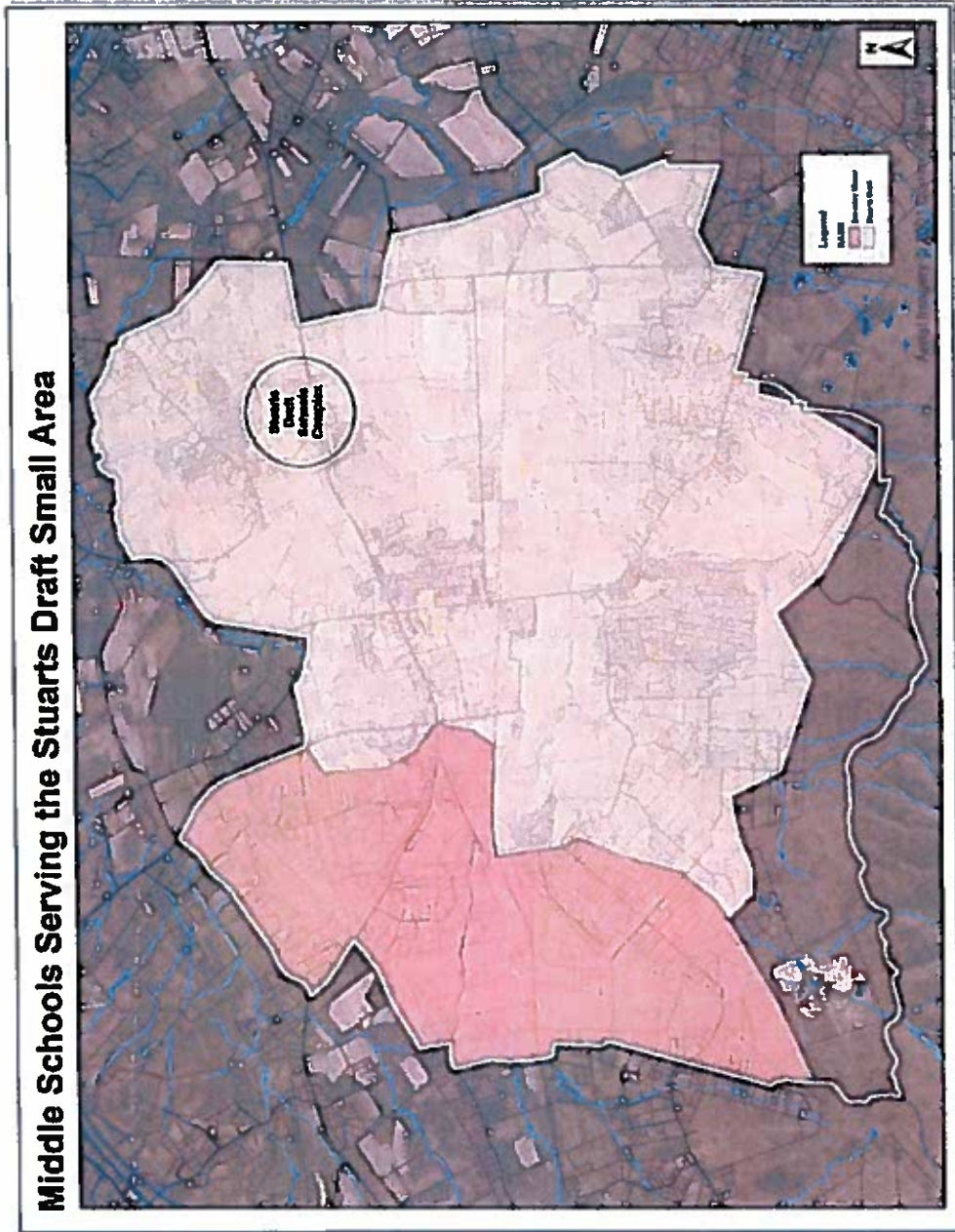
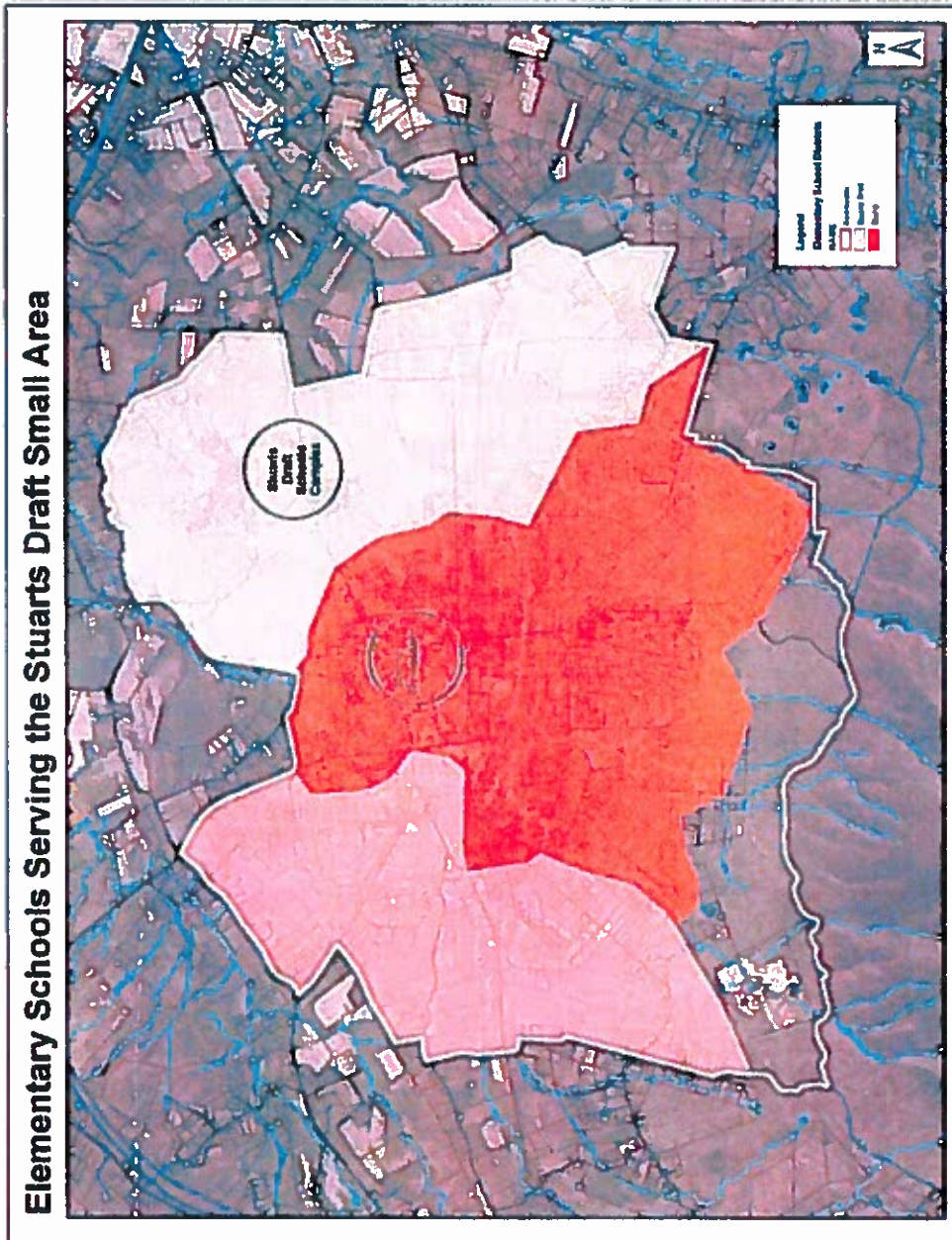


Figure 18. Elementary Schools Serving the Stuarts Draft Small Area



18

Table 12 shows the current enrollment figures (school year 2019-2020) and program capacities for the seven public schools serving the small area.

Of the seven schools, the majority are operating around 75% of capacity. The two schools operating at a higher percentage of program capacity are Riverheads Elementary School at 85% and Beverley Manor Middle School at 91%. The two service areas for these schools only represent the western portion of the small area, which is smaller than other schools' service areas as demonstrated on the previous maps. Furthermore, the area served by the schools with a higher percentage of used program capacity is planned for low density residential uses or designated as an Agricultural or Rural Conservation Area. Therefore, the County does not expect significant residential development within these service areas.

Table 12. Public Schools Serving the Stuarts Draft Small Area

School	Program Capacity	SY 19-20 Enrollment PK-5	Percentage of Program Capacity
Stuarts Draft High School	940	697	74%
Riverheads High School	600	460	76%
Stuarts Draft Middle School	960	549	57%
Beverley Manor Middle School	800	712	89%
Stuarts Draft Elementary School	834	585	70%
Stump Elementary School	556	430	77%
Riverheads Elementary School	834	714	85%

Goal 1: Ensure that the public school facilities and services meet the needs of local residents and are accessible and of high quality.

Objective A: Plan for renovations/expansions at school facilities as population growth demands.



Policy 1: Use population projection estimates and best available data to evaluate growth and demand on existing school service areas.

Objective B: Support enhancing broadband service within the Stuarts Draft small area.

Policy 1: In consultation with existing service providers, develop a “lack of service” map which highlights the areas within the Stuarts Draft area that do not have broadband service.

Policy 2: Work with local service providers through the established Broadband Committee to pursue projects and grant opportunities for areas identified in the “lack of service” map.

K. Public Safety

Public safety services to the Stuarts Draft area are provided by the Stuarts Draft Volunteer Fire Company and Stuarts Draft Rescue Squad. A single fire company (Stuarts Draft VFC) and single rescue squad (Stuarts Draft RS), are located just east of the 340 and 608 intersection in the heart of town. Both companies’ primary responsibility is responding to emergency calls in and around the Stuarts Draft area.

The Stuarts Draft Fire Company (Co. 7) has been providing fire protection service to Stuarts Draft since the 1940s. This department is still 100% volunteer and the Insurance Service Office (ISO) rating of 4/4Y. In 2018, Stuarts Draft Fire Company was dispatched to 541 emergency calls (29.12% increase from 2017) with an average response time of 2.72 min. Stuarts Draft Fire Company is supported by Riverheads Volunteer Fire Department, Preston L. Yancey Fire Department, and Wilson Volunteer Fire Company.

The Stuarts Draft Rescue Squad (Res 6) has been providing emergency medical service to Stuarts Draft for 50 years. Stuarts Draft Rescue Squad is a volunteer agency that is supplemented by career staff Monday through Friday 0600 am to 0600 pm with two personnel each day. In 2018, the Stuarts Draft Rescue Squad was dispatched to 1,840 emergency calls (10.58% increase from 2017) with an average response time of 1.35 minutes. The Stuarts Draft Rescue Squad is supported by Riverheads Rescue, Preston L. Yancey Rescue, Waynesboro Rescue, and Wintergreen Rescue.

1. Fire and Rescue Planning



Fire-Rescue is in the process of developing a Strategic Plan for the future. This plan will be developed to ensure that the service delivery provided by all Fire and EMS agencies meet the citizens and County needs. In addition, Fire-Rescue will continue to provide input to the County's 20-year Capital Improvements Plan, found in the Comprehensive Plan.

Goal 1: Ensure that adequate public safety services are provided efficiently throughout the Stuarts Draft area.

Objective A. Evaluate ways in which fire and rescue service can be provided more effectively.

Policy 1: Continue to recognize the importance of the Stuarts Draft Rescue Squad and its volunteers through continued career staff support and integration and collaboration during countywide strategic planning efforts.

Objective B. Evaluate ways in which public safety service can be provided more effectively

L. Utilities

This section recognizes a range of utilities, including water and wastewater treatment, telecommunications and broadband, and electricity. While the Augusta County Service Authority, provides water and sewer service, the other utilities are provided through private entities. However, the goals, objectives, and policies of this section stress the importance of private/public partnerships for successful provision of services.

Broadband

The "County of Augusta, VA Community Broadband Telecommunications Strategic Plan" (September 30, 2016), recognizes the importance of cellular and internet services for a range of functions such as business growth and development, education, quality of life, etc. Such plan, prepared for the entire County, includes customer satisfaction and coverage survey data, inventory and analysis of existing vertical assets, and inventory and conditions related to areas of need and areas of desired growth. An area, including parts of the Stuarts Draft small area, was summarized as "no or dissatisfied internet connection" as a result of the survey responses. In addition, at the initial public kick-off meeting for the Stuarts Draft Small Area Plan planning process, there was citizen input concerning home based business not having the service they need or not being able to get private providers to serve certain areas.



While areas and assets within the Stuarts Draft small area were evaluated as potential sites to consider for the above mentioned strategic plan, they did not rise to the seven priority potential tower sites. Whereas the strategic plan references provision of services for the entire County, some of the policies below will focus on community identified needs and priorities for Stuarts Draft, keeping in mind that decisions related to investment of money and other resources will likely be based off the countywide strategic plan and updates thereto.

Broadband Goal 1: Develop a network of cellular and telecommunications infrastructure that supports a growing and thriving community for continued economic growth, educational achievement, and overall quality of life for residents.

Objective A: Encourage expansion of cellular and broadband service within the Stuarts Draft community.

Policy 1: As countywide priorities are evaluated through the Broadband Telecommunications Strategic Plan and subsequent updates, continue to look for ways to improve coverage for residents in Stuarts Draft.

Policy 2: Encourage public private partnerships as a means of expanding services within the community.

Water and Wastewater Treatment

Public water and sewer service in Augusta County is provided by the Augusta County Service Authority (ACSA). For public water service, the entire Stuarts Draft Small Area is located within the South River Water System. Wastewater treatment for the Small Area is provided by the Stuarts Draft Waste Water Treatment Plant. Both systems are detailed further below.

I. Water System

The South River water system is the largest system owned and operated by the ACSA. The service area ranges from the U.S. Route 250 corridor between the Cities of Staunton and Waynesboro, the U.S. Route 340 corridor south of the City of Waynesboro, the U.S. Route 11 corridor south of the City of Staunton, and the communities of Fishersville, Greenville, Stuarts Draft, and Sherando.

Existing water supply sources in the South River distribution system include a surface water impoundment and 4 groundwater wells. A new well has been drilled and is expected to be fully developed within the next 5 years. The estimated yield of this well exceeds 1.0 million gallons per day. Additionally, the ACSA can purchase water from



the City of Staunton. By contract, up to 3.0 million gallons per day can be purchased from the City. Due to use in other systems, approximately 1 million gallons per day is currently available to the South River System. Storage for the South River water system that supports the Stuarts Draft small area consists of 3 tanks totaling 3.72 million gallons. The primary service mains that serve the small area consist of mostly 8" and 12" diameter pipes with some 16" diameter mains. Future distribution projects are planned to replace and enlarge some older mains over the next 5 to 10 years. Another project in the Hickory Hill area is planned to allow for more complete use of existing storage (improve "effective storage"). This project is expected to be completed within the next 5 years.

In recognition of the importance of the water supply provided by the South River water system, a Source Water Protection Overlay was established around the public water sources. A portion of the Stuarts Draft Small Area is covered by this overlay.

2. Wastewater Treatment System

The Stuarts Draft Wastewater Treatment Plant serves the small area. This plant is an Enhanced Nutrient Removal (ENR) facility, which was last upgraded in 2010. At this time the capacity of the facility was increased from 2.4 million gallons per day to 4 million gallons per day. The collection system trunk lines that serve the Small Area consist primarily of 8" gravity mains with some larger diameter mains as the collection system approaches the treatment facility. The collection system also includes 5 public sewer lift stations to serve the Augusta Farms, Seasons Ridge, and Brookmill development areas, all of which are inside the small area boundary.

The ACSA has an ongoing program to reduce Inflow and Infiltration (I&I) from the public system. I&I can result from damaged or deteriorated system components and/or improper customer piping. A portion of the collection system along Wayne Avenue is being evaluated for repairs and/or replacement to reduce I&I and increase capacity. Another project in the planning stages will replace and increase the size of the sewer main (pressure main) that serves the Brookmill and Seasons Ridge sewer lift stations. Relocation and replacement of the Seasons Ridge lift station may be needed in the next 10 years.

Water and Wastewater Utilities Goal 1: Ensure that public sewer and water facilities are provided in an efficient and cost-effective manner, providing centralized public water and sewer systems through selection of growth areas that minimize infrastructure development and operational costs.



Objective A: Coordinate the provision of public water and sewer with the location of development, including coordination of utilities/easements.

Policy 1: Increase joint planning efforts between the Augusta County Community Development Department and the ACSA to help identify areas that could be removed from public water/sewer consideration or added to the areas for public water/sewer consideration (Community Development Area or Urban Service Area) due to topography or other factors affecting the provision of service and costs including but not limited to capacity and fire flow.

Policy 2: Establish County policy for supporting extension of public water/sewer infrastructure for development associated with growth and/or economic development.

Policy 3: Establish County policy for funding fire flow improvement projects in support of the requirements of Chapter 24 of the Augusta County Code.

Policy 4: Use the feedback from the rezoning process to guide development to areas where infrastructure is either in place or cost effectively extended or improved in order to support the request. For example, establish a policy by which a potential rezoning or rezoning application guide potential Comprehensive Plan amendments, reflecting the current availability of infrastructure.

Electricity

The Stuarts Draft community, as defined by this plan's boundary, has two power substations; one owned by Dominion Virginia Power and one owned by Shenandoah Valley Electric Cooperative.

Electricity Goal 1: Coordinate with utility providers to ensure provision of power services, including renewable sources, that helps achieve land use and growth management objectives in an efficient and cost effective manner.

Objective A: Recognize the importance and growing trend of diversification of power portfolios to include more renewable energy generation.

Policy 1: Continue to support distributed renewable energy as accessory to by-right established uses.



VI. Entrance Corridor Overlay Development Design Guidelines

Development of an entrance corridor overlay zoning district is an action item of this plan. This section serves to provide some design guideline suggestions to lay the groundwork for development of such overlay district. This section addresses design suggestions for new and substantially renovated structures along Stuarts Draft Highway (Route 340).

A. Streetscape Design

i. Parking/Entrances

1. Consider side and rear parking, which in combination with pedestrian infrastructure, provides for enhanced walkability.

ii. Setbacks

1. Consider implementation of setbacks so as to provide space for desired streetscape infrastructure.

iii. Landscaping

1. Consider an enhanced landscape ordinance, including street trees, shrubs, and other ornamental features, to provide the aesthetic streetscape desired along the entrance corridor.

iv. Pedestrian Infrastructure

1. As new development occurs along the corridor, make pedestrian infrastructure a priority so as to avoid costly utility relocations and other conflicts.

v. Signs

1. Should be in keeping with existing sign sizes and heights along the corridor. May consider regulations limiting sign sizes and heights.
2. Consider regulations to limit off-premise advertising signs.
3. Consider regulations on sign illumination



vi. Access Management

1. Augusta County has existing entrance spacing guidelines within the Urban Service Overlay district. Consider strengthening such language as part of a corridor overlay in addition to consideration of other access management tools (i.e. raised median), recognizing such as important for aesthetics, quality of life, but more importantly, safety.

B. Building Orientation and Building Form

New construction along Route 340 should remain sensitive to existing development in building orientation, form, materials, and overall general design. Consider including general building material, color, lighting, and height considerations in an entrance corridor overlay and as suggested in the following section.

VII. Design Guidelines

This section contains basic design suggestions for new and substantially renovated structures within the Stuarts Draft small area. This section is not intended to specify architectural styles or necessarily limit building materials. Although, building materials and colors should be compatible with existing development and respect local character. This section is intended to provide general recommendations on streetscape design, building layout, and building form.

Setting and Landscaping:

Provide a street setting that is friendly to pedestrians and bicyclists as well as vehicular traffic.

- Sidewalks should be provided on both sides of the street where appropriate.
- The main travel-way of the street should be separated from the pedestrian space by on-street bike lanes (where appropriate), on-street parking, and a landscaped planting strip (where appropriate).
- Alleys or other forms of rear access points should be utilized wherever possible and screening techniques should be used to screen service areas from street view.

Clearly identify "semi-public" outdoor spaces for retail displays and pedestrian access.



- Outdoor displays and seating areas for retail operations located in “semi-public” spaces should be well-paved and clearly marked, and should be visually separated from the “public” spaces of the surrounding area with awnings and railings.

Provide landscaped areas to screen nearby development from incompatible uses and highlight the retail and office operations.

- Existing natural features should be maintained wherever possible.
- Screening should not serve to block the view of the business from the street.

Building Orientation:

Provide a sense of visual continuity by aligning all buildings in a similar fashion that appropriately addresses the street on which they are located.

- Buildings should be set close to the street but far enough back that it is possible to establish “semi-public” space between the primary entrance to the building and the street.
- Buildings located on the same street should be consistently set back from the street, from the rear lot line, and from each other.

Locate driveways, garages, and parking areas so that they do not dominate the street scene.

- Customer parking areas should be located to the side and rear of buildings, when viewed from the street, and should be separated and broken up with landscaping features wherever possible, so as not to provide large expanses of paved area that is unfriendly to pedestrians.
- On-street parking areas should be separated and broken up with landscaping features wherever possible.
- Attached garages should be situated in such a way that they do not dominate the primary elevation of the building and obscure the primary entrance or should be located at the rear of the building.
- Detached garages should be situated at the rear of the building wherever possible.
- On-street parking areas should be separated and broken up with landscaping features so as not to provide large expanses of paved area that is unfriendly to pedestrians.

Building Form:

Clearly establish the primary entrance to the building by utilizing design techniques that highlight formal entryways.



- The primary entrance to the building should be located at the front of the structure, directly facing the street.
- Where appropriate, the primary entrance to the building should be highlighted by a porch, archway, awning, or other similar feature.
- Buildings should remain sensitive and compatible with existing local character in materials and color.

VIII. Implementation Strategy

The implementation strategy of the Stuarts Draft Small Area Plan outlines the tasks that need to be completed in order to “breathe life” into the plan. The below strategy is an important part of realizing the vision statement and recommendations found in the individual goals, objectives, and policies as well as the Stuarts Draft Future Land Use Map. The tasks identified by the implementation strategy include recommendations for considering policy changes, ordinance changes, and further planning and technical study efforts.

The implementation strategy (Table 13) is broken down by the plan sections in Chapter V. Goals/Objectives/Policies. The implementation strategy also includes responsible departments for task completion.

Table 13. Implementation Strategy

Implementation Strategy		
	Task	Responsible
Transportation		
1.A.1	Smart signal technology. Work with the Virginia Department of Transportation to encourage the implementation of smart signal technology and other signal timing efforts to help roadways operate more efficiently.	VDOT and Community Development
1.B.1	Implement spot improvement and upgrade projects as identified in the Augusta County Transportation Plan 2014/2015 Update.	Community Development and VDOT
1.B.2	Consider evaluating the benefit of improvements to Cold Springs Road and Offlitter Road as an additional recommendation for filling out the network of streets to help alleviate congestion on certain corridors. (Not studied with this plan, recommendation for further study).	Community Development



1.C.1	Evaluate the conceptual grid network as shown in the Augusta County Comprehensive Plan Update 2014/2015.	VDOT, Community Development
1.D.1	Evaluate/study the possibility of constructing a raised median for portions of Route 340.	Community Development and VDOT
1.D.2	Collaborate with VDOT to apply access management standards to arterials, collectors, and local streets per VDOT's Access Management Design through rezoning requests.	Community Development and VDOT
1.D.3	Evaluate the County's current Urban Service Overlay district which restricts the number of entrances to see if a more restrictive distance between entrances should be included as part of an entrance corridor overlay.	Community Development
1.E.1	Identify locations for a transportation hub within the area. Coordinate such identification with the Brite public transit system and other existing and/or future regional transit opportunities.	Community Development
1.E.2	Assess adequacy of current transit system serving the Stuarts Draft community and if needed, work with the Central Shenandoah Planning District Commission and Brite Bus services to incorporate additional stops/routes.	Community Development and Brite (CSPDC)
1.F.1	At Patton Farm Road Bridge, install a railing or guardrail to prevent vehicles from leaving the roadway and entering the waterway during overtopping/flooding events.	VDOT, Community Development
1.F.2	In the long-term, and as additional development warrants and/or funding becomes available, pursue reconstruction of Patton Farm Road Bridge.	VDOT, Community Development
1.F.3	At the Draft Avenue Bridge, pursue funding for a pedestrian/bicycle only bridge span across the South River directly adjacent to the existing roadway. Depending on the sufficiency rating of the structure at the time funds are pursued, project may include a complete bridge replacement with bicycle/pedestrian accommodations	VDOT, Community Development
2.A.1	Establish a bicycle and pedestrian citizen advisory committee.	Board of Supervisors and Community Development



2.B.1	Develop criteria for prioritization of sidewalk and bicycle infrastructure recommendations along the various corridors included in the Timmons study completed with this planning process.	Board of Supervisors and Community Development
2.C.1	Continue to work with the public and landowners to further refine the conceptual greenway highlighted during this planning process	Board of Supervisors and Community Development
2.C.2	Pursue funding of a greenway within the Stuarts Draft community.	Community Development
2.C.3	Develop criteria for prioritization of greenway segments for funding, which may include segments providing transportation and recreational importance.	Community Development and Board of Supervisors
2.D.1	Where possible, utilize pavement markings, such as bicycle sharrows, pedestrian crossings, and designated parking zones as a means of traffic calming.	VDOT and Community Development
2.D.2	Develop traffic calming techniques within residential communities and other areas by developing pedestrian-oriented streetscape design. For example, in denser, lower speed areas, encourage buildings to locate close to the street right of way, encourage parking to locate behind buildings where possible, allow on-street parking, and provide streetscaping amenities. Consider areas where road widening is anticipated when developing.	VDOT and Community Development
2.D.3	Pedestrian-scale lighting and street trees should be encouraged to be located in the setback strips between the roadways and sidewalks to help buffer pedestrian from vehicular traffic.	VDOT and Community Development
Agriculture		
1.A.1	Utilize Stuarts Draft welcome signs as an educational tool for Stuarts Draft's agricultural history and present.	
1.A.2	Agricultural Tourism. The County should collaborate with and provide information to existing agricultural operations in Stuarts Draft related to the development of agri-tourism businesses. Such discussions should include both an economic development and land use perspective.	Community Development and Economic Development and Tourism



2.A.1	Natural buffers should be included at the outside edges of residential subdivisions and commercial/industrial development that border the Rural and Agricultural Conservation areas within and adjacent to the Stuarts Draft area.	Community Development
2.A.2	The County should encourage new development in Stuarts Draft to be clustered in a manner that preserves quality agricultural land within and adjacent to the Stuarts Draft small area. Clustering should be encouraged near the edges of the Community Development Areas that border the Rural or Agricultural Conservation Areas in order to establish natural buffers.	Community Development
2.A.3	Conservation easements. Encourage conservation easements on Rural and Agricultural Conservation areas within and surrounding the Stuarts Draft small area.	Community Development and Conservation partners
Land Use and Development		
1.A.1	Entrance Corridors. Consider developing an entrance corridor overlay district for the main transportation corridors, especially Route 340, by which vehicles and pedestrians enter the Stuarts Draft community. An entrance corridor overlay district may include regulations for landscaping, pedestrian access, building height, setbacks, access management, signage, lighting, etc. The intent of the overlay district shall not only be to preserve and enhance a sense of place but to provide a well-maintained and aesthetically pleasing entrance to the community.	Community Development and Ordinance Committee
1.B.1	Signage and Lighting. The County should encourage existing business and residential developments to design their exterior lighting and sign designs in order to lessen their impact on surrounding properties. All lighting should be down lit to avoid light pollution and preserve dark skies.	Community Development and Ordinance Committee
1.B.2	Preservation of Open Space. The County should encourage the preservation of open space within and immediately surrounding existing development where it serves as an integral part of the development.	Community Development and Conservation partners



1.B.3	<p>Redevelopment of Vacant Business Structures. The county should encourage the re-use and redevelopment of vacant structures on business or mixed-use zoned property, where possible, especially in the historic downtown.</p>	Community Development and Economic Development
1.B.4	<p>Architectural Character. New development in the Stuarts Draft area, particularly that which takes place on infill parcels, should not sharply contrast with existing neighboring structures with regards to scale, placement, materials, colors, or other architectural details.</p>	Community Development, Ordinance Committee
1.C.1	<p>Community Development Areas. In order to protect the scenic, agricultural and environmental quality of the Community Development Areas, the County should encourage development within these areas to preserve as much quality open land as possible so as to create a transition from Urban Service Areas and the less developed Agricultural and Rural Conservation Areas.</p>	Community Development
2.A.1	<p>Village Mixed Use zoning. Consider Village Mixed Use zoning for historic downtown as a means of retaining the character of the established downtown which historically provided social and economic services for the community. Such zoning designation creates flexibility of uses to aid in revitalization.</p>	Community Development
2.A.2	<p>Pursue grant funding opportunities for downtown revitalization, whether economic incentives or streetscape projects.</p>	Community Development
2.B.1	<p>Rezoning approvals. Requests for increased residential densities for specific sites should be evaluated in terms of the Stuarts Draft Future Land Use Map, the pattern of existing development in the vicinity of the site, road access, and available and planned public facilities.</p>	Community Development/Planning Commission and Board of Supervisors
2.B.2	<p>Buffers. The placement of buffers to provide transition between uses of differing densities or intensities should be strongly encouraged. Buffers should use existing topography and vegetation to the maximum extent possible and should provide additional buffer elements whenever necessary.</p>	Community Development



2.B.3	Encourage low density residential uses as a transition to rural areas and protected open space.	Community Development
2.C.1	As has been the case for existing industrial development in the community, continue to support clean industries with well-designed facilities that protect natural resources and blend into the existing community, and which are setback from main thoroughfares.	Community Development/Economic Development and Tourism
2.C.2	Encourage and support expanded agricultural operations as a means of framing the urban areas of the community.	
2.D.1	Consider the effect ordinance amendments may have on creating or limiting available housing options within the various zoning districts.	Community Development and Ordinance Committee
2.D.2	Hold informational community meetings with property owners within the planned Village Mixed Use district to see if rezoning of the area is desirable as a means of providing flexible, additional housing types to coexist with business development.	Community Development
2.D.3	Utilize the Future Land Use Map and respective future land use designations in evaluation of land use applications as such map provides for a range of housing densities/types as is dictated by the market.	Community Development
2.E.1	Rezoning/development applications for areas designated Neighborhood Mixed Use should recognize that compatible commercial land uses are an important part of such concept as a means of creating walkable, convenient communities, aesthetically pleasing communities.	Community Development
2.E.2	Industrial defined uses can apply to a wide range of categories. This plan recognizes the importance of utilizing future planned industrial areas for high employment generating uses and uses that aid in the diversification of the economy.	Community Development, Economic Development
2.F.1	Curbs, Gutters, and Sidewalks. All new development in the Stuarts Draft small area should include curbs, gutters, and sidewalks or multi-use paths, particularly in those areas identified as appropriate for business, industrial,	Community Development



	mixed use, or residential development at densities of 3-4 units per acre or higher.	
2.F.2	Development Pattern. The County should encourage Stuarts Draft to develop with compact, mixed-use, pedestrian-oriented neighborhoods which combine a range of residential types and densities with neighborhood commercial business uses in a convenient, coordinated, and interconnected pattern. More intensely developed areas should maintain a human scale while less intensely developed areas should retain as much of the natural landscape as possible.	Community Development
Environmental and Natural Resources		
1.A.1	Consider adoption of a thirty-five (35) foot overlay buffer ordinance on either side of streams and wetlands.	Community Development
1.B.1	Apply for grant funding for the establishment of a greenway along the South River.	Community Development
2.A.1	Collaborate with Headwaters Soil and Water Conservation staff to support livestock exclusion, manure storage, and other soil and water quality related projects.	Headwaters Soil and Water Conservation and Community Development
2.A.2	Pursue funds to implement streambank projects that will provide the most water quality improvement at the lowest cost.	Community Development
2.B.1	Using the subdivisions highlighted in the "Stuarts Draft Stormwater Focus Areas Map," evaluate and study retrofit projects that will provide the most water quality improvement at the lowest cost.	Community Development
2.C.1	Using the drainage improvement areas highlighted on the "Stuarts Draft Stormwater Focus Areas Map," evaluate, study, and implement drainage improvement projects.	Community Development
Parks and Recreation		
1-2.A.1	Allocate funding for needed park improvements that will help reduce maintenance costs.	Parks and Recreation and Board of Supervisors
1-2.A.2	Allocate funding for "small/less expensive" improvements to existing facilities that will enhance recreation. For example, additional	Parks and Recreation and Board of Supervisors



	fields, amenities, adding additional trail segments to lengthen routes, etc.	
1-2.B.1	Identify land for park expansion. The County should work to find appropriate locations for the expansion of park facilities. Such sites should allow for incremental park expansions to existing Stuarts Draft Park as well as collaboration with the public school system in expanding existing athletic facilities that would be open to all county residents.	Community Development
1-2.B.2	Additional greenspace. Set aside additional land for open space along Route 340 so as to create pockets of potential recreational opportunities amongst development areas.	Community Development
1-2.B.3	Community Center. The County should work to find appropriate locations to utilize an existing building or identify a vacant site for the development of a community center.	Community Development
1-2.B.4	The County should pursue grant funding for the development of a greenway and other open space facilities along the South River.	Community Development and Parks and Recreation
1-2.B.5	The County should continue to support non-county owned recreational facilities within the small area, recognizing such facilities as valuable community assets.	Parks and Recreation
Economy		
1.A.1	Existing industries. The County should maintain and continue to strengthen their relationship with existing industries in Stuarts Draft. The County should work with existing industries to facilitate desired expansions and ensure the industry operations continue to function successfully.	Economic Development and Community Development
1.B.1	Target industries. The County should attempt to attract a specific sector of industries/businesses to support surrounding uses such as the medical growth in nearby Fishersville or the existing concentration of food and beverage companies in Stuarts Draft and Augusta County as a whole.	Economic Development
1.B.2	Promote business opportunities to support tourism. The County should utilize tourism marketing to highlight the many natural resources within the Stuarts Draft area.	Economic Development and Tourism



1.B.3	Greenway and bike/pedestrian infrastructure. The County should encourage the development of such infrastructure, recognizing the impact such development can have on attracting additional economic growth as industries are looking for places with a strong sense of place and which have a multitude of recreational amenities to attract and retain employees.	Community Development and Economic Development and Tourism
1.B.4	The County should review and evaluate ordinances to create flexibility for tourism related businesses to co-exist with associated natural resource areas that may not have the infrastructure accustomed to business development.	Economic Development and Tourism and Community Development
1.B.5	Preserve industrial lands identified on the future land use map for employment generating uses.	Community Development
Historic Resources		
1.A.1	The County should collaborate with local preservation organizations in the update/obtainment of a historic resources survey/database	Historic preservation partners, Community Development
2.A.1	Public Education Efforts. The County should support and work with local preservation organizations and individual community members to educate the citizens of Stuarts Draft on the historic resources that are found in the community and how such resources contribute to a strong sense of place.	Augusta County Library/Community members
2.A.2	Historic Tourism Efforts. The County should support and collaborate with local preservation organizations and individual community members on possible ways to utilize interpretive signage or even smart phone applications to highlight historic downtown.	Historic preservation partners, Community Development
2.A.3	Context sensitive design. The County should encourage any development that occurs in or near Stuarts Draft's historic downtown and other historic assets to incorporate creative and sensitive design so as to reduce a jarring juxtaposition with existing historic character.	Community Development/Ordinance Committee
2.A.4	Adaptive reuse. The County should encourage the adaptive reuse of existing historic structures.	Community Development



Housing		
1.A.1	As identified on the Future Land Use Map, encourage mixed use development that not only includes a mix of residential and business development but a mix of housing forms and sizes, such as townhomes, one-level duplexes, housing for multi-generational families, etc.	Community Development
1.A.2	Housing developments within the Stuarts Draft area should be affordable and accessible to critical members of the community such as teachers, fire fighters, police officers, and those working in industry within the small area and beyond.	Community Development
Library		
1.1.A.	Add an additional one to two eight-hour days of service.	Augusta County Library
1.1.B.	Obtain funding for 2 FTE's	Augusta County Library
1.1.C.	Plan for the future of the Stuarts Draft Library including the development of a building plan for a new facility.	Augusta County Library and Community Development
2.1.A.	Work with the Augusta County Library Foundation to begin fundraising campaign to build larger library.	Augusta County Library and Augusta County Library Foundation
2.1.B.	Provide a regular schedule of programs for all ages, primarily for preschoolers and youth.	Augusta County Library
2.1.C.	Continue the annual September Stuarts Draft History displays and programs.	Augusta County Library
4.1.A.	Continue to develop the collection based on community requests.	Augusta County Library
4.1.B.	Provide additional technology training opportunities for the public.	Augusta County Library
4.1.C.	Provide weekly preschool storytimes.	Augusta County Library
4.1.D.	Recruit and train additional volunteers, including teens.	Augusta County Library
Public Education		
1.A.1	Use population projection estimates and best available data to evaluate growth and demand on existing school service areas.	School Board and staff and Community Development
1.B.1	In consultation with existing service providers, develop a "lack of service" map which highlights the areas within the Stuarts Draft area that do not have broadband service.	Broadband Committee



1.B.2	Work with local service providers through the established Broadband Committee to pursue projects and grant opportunities for areas identified in the "lack of service" map.	Broadband Committee
Public Safety		
1.A.1	Continue to recognize the importance of the Stuarts Draft Rescue Squad and its volunteers through continued career staff support and integration and collaboration during countywide strategic planning efforts.	Augusta County Fire-Rescue, Augusta County Administration
Utilities		
1.A.1	As countywide priorities are evaluated through the Broadband Telecommunications Strategic Plan and subsequent updates, continue to look for ways to improve coverage for residents in Stuarts Draft.	Broadband Committee
1.A.2	Encourage public private partnerships as a means of expanding services within the community.	
1.A.1	Increase joint planning efforts between the Augusta County Community Development Department and the ACSA to help identify areas that could be removed from public water/sewer consideration or added to the areas for public water/sewer consideration (Community Development Area or Urban Service Area) due to topography or other factors affecting the provision of service and costs including but not limited to capacity and fire flow.	Augusta County Service Authority and Community Development
1.A.2	Establish County policy for supporting extension of public water/sewer infrastructure for development associated with growth and/or economic development.	Augusta County Service Authority and Community Development
1.A.3	Establish County policy for funding fire flow improvement projects in support of the requirements of Chapter 24 of the Augusta County Code.	Augusta County Service Authority and Community Development
1.A.4	Use the feedback from the rezoning process to guide development to areas where infrastructure is either in place or cost effectively extended or improved in order to support the request. For example, establish a policy by which a potential rezoning or rezoning application guide potential	Augusta County Service Authority and Community Development



	Comprehensive Plan amendments, reflecting the current availability of infrastructure.	
1.A.1	Continue to support distributed renewable energy as accessory to by-right established uses.	Community Development



APPENDIX

Following is the Bicycle & Pedestrian Infrastructure Assessment completed by Timmons Group, transportation consultant, for the Stuarts Draft Small Area Plan. These documents are referenced in various places throughout the Plan and are supplemental to the recommendations and cost estimates summarized in the Plan.



Stuarts Draft Small Area Plan Bicycle & Pedestrian Infrastructure Assessment

Stuarts Draft, Virginia

September 13, 2019

Prepared For:
Augusta County
Stuarts Draft

TIMMONS GROUP 
YOUR VISION ACHIEVED THROUGH OURS.

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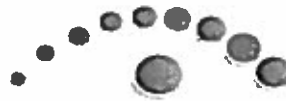
Stuarts Draft Small Area Plan
Bicycle & Pedestrian Infrastructure Assessment
Stuarts Draft, Virginia

Prepared For:

Augusta County
Stuarts Draft

Prepared By:

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1 INTRODUCTION

At the request of Augusta County, an assessment of the existing bicycle/pedestrian infrastructure and potential recommendations for improvement were performed for Stuarts Draft, VA. The project location is shown on Figure 1-1 (all figures are located at the end of the study). The purpose of this work is to provide support to County staff in preparation of the Stuarts Draft Small Area Plan. The work contained within the following report documents existing bicycle and pedestrian infrastructure within the Stuarts Draft area and provides recommendations on areas of interest.

PROJECT SCOPE

Per the scope of services, the following steps were taken to assess roadway pavement conditions, intersection operations, identify potential improvement options, and determine the recommended modifications to future intersection geometry and traffic control:

1. Johnson Drive/Cold Springs Road Pedestrian Connection

- Develop a concept for a short-term pedestrian connection, including typical section, preliminary horizontal and vertical alignment, and a crossing of the South River; and
- Prepare preliminary cost estimates for warranted/recommended improvements.

2. Patton Farm Road Bridge

- Collect existing ADT on Patton Farm Road (cars/heavy vehicles);
- Project volumes to designated design year;
- Assess adequacy of bridge relative to traffic volumes and heavy vehicles; and
- Prepare preliminary cost estimates for warranted/recommended improvements.

3. Draft Avenue Bridge

- Collect existing ADT on Patton Farm Road (cars/heavy vehicles);
- Project volumes to designated design year;
- Assess adequacy of bridge relative to traffic volumes and heavy vehicles; and
- Prepare preliminary cost estimates for warranted/recommended improvements.

4. Bicycle/Pedestrian Assessment

- Determine potential for installation of a circular greenway trail connecting Johnson Drive to Patton Farm Road along the South River;
- Perform a walkability audit/pedestrian assessment of Draft Avenue from Route 340 to the RR crossing, including field verification of any existing bicycle and pedestrian infrastructure within the study area provided by the County;
- Perform a walkability audit/pedestrian assessment of Wayne Avenue from Draft Avenue to Patton Farm Road, including field verification of any existing bicycle and pedestrian infrastructure within the study area provided by the County;
- Perform a walkability audit/pedestrian assessment south of the RR crossing for approximately 2.5 miles (to Ridgeview/Forest Springs and then along Lake Road to just past Gerties Lane – at the National Forest);
- Identify opportunities to improve connectivity and the pedestrian environment, including traffic calming; and
- Prepare preliminary cost estimates for warranted/recommended improvements.

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2 JOHNSON DRIVE/COLD SPRINGS ROAD PEDESTRIAN CONNECTION

EXISTING CONDITIONS

A field site visit was performed on February 8, 2018 to take notes and collect pictures/video of the subject roadways and existing conditions. The goal of the field visit was to perform a visual assessment of the existing transportation facilities within the vicinity of a proposed pedestrian connection between Johnson Drive and Cold Springs Road, across the South River.

Johnson Drive (Route 909) extends south from the signalized intersection of Stuarts Draft Highway (Route 340) and White Hill Road (Route 654). Johnson Drive is approximately 0.6 miles in length and terminates at its intersection with Harold Cook Drive, which is an entrance to the Hershey Chocolate of Virginia plant. In addition, there is an at-grade railroad crossing located approximately in the middle of Johnson Drive.

A review of Johnson Drive shows that it is zoned, on both sides, as general industrial (GI) from Stuarts Draft Highway to Harold Cook Drive. There are three (3) major industrial plants located on Johnson Drive, including a heavily utilized at-grade railroad crossing. During the field visit, approximately 10 heavy vehicles were noted traversing Johnson Drive.

The recorded annual average daily traffic for Johnson Drive in 2016 was 2,500 vehicles per day. In addition, the available traffic data suggests that approximately 8% of all vehicles on Johnson Drive in 2016 were heavy vehicles. Johnson Drive is unposted south of Stuarts Draft Highway. Harold Cook Drive is posted at 25 MPH.

The intersection of Johnson Drive and Harold Cook Drive consists of three legs, in which the third leg consists of the continuation of Johnson Drive south towards the South River. This leg of the intersection provides access to two properties, one owned by the Virginia Department of Conservation (to the west) and one owned by Hershey Chocolate of Virginia. The third leg of the intersection is paved for approximately 250 feet and then dead ends in a gated entrance. From the gated entrance south, a dirt path extends approximately 0.25 miles into the property towards the South River.

Cold Springs Road (Route 608) extends west from the signalized intersection of Draft Avenue (Route 608/610). The approximate pedestrian connection would approach Cold Springs Road at its intersection with Horseshoe Circle (Route 842), approximately 0.8 miles west of Draft Avenue. A review of Cold Springs Road shows that it is generally zoned as residential between Horseshoe Circle and Draft Avenue. To the west of Horseshoe Circle, the intersection is zoned generally as general agriculture.

The recorded annual average daily traffic for Cold Springs Road in 2016 was 1,200 vehicles per day. In addition, the available traffic data suggests that approximately less than 1% of all vehicles on Cold Springs Road in 2016 were heavy vehicles. Cold Springs Road and Horseshoe Circle are posted at 35 MPH.

The intersection of Cold Springs Road and Horseshoe Circle is an unsignalized intersection with three legs. The anticipated pedestrian connection would approach the intersection as a potential fourth leg to the north. The field review showed minimal build up in the vicinity of the intersection. It should be noted that the northwest corner of the intersection appears to be a part of the overall floodplain of the South River and may present issues for a pedestrian path.

A review of the floodplain mapping for the South River was completed to provide additional information for the pedestrian connection options. In addition to the South River, there is also a riverway denoted as Johns Run that would need to be further investigated. The FEMA floodplain information for the area between Johnson Drive and Cold Springs Drive shows flood areas approximately 1,400 feet wide. During the site field visit, a large amount of scour was noted near Cold Springs Road where the proposed crossing would connect.

Much of the undeveloped general industrial acreage owned by Hershey Chocolate of Virginia between Johnson Road and the South River is within the floodplain. On the south side of the river, Shenandoah Wetland Company and EBCO LLC own both parcels that extend from the South River to Cold Springs Road. The floodplain area mostly covers both parcels.

Appendix A, located at the end of this report, includes a complete copy of the FEMA Flood Insurance Rate Map (FIRM) panel for the potential pedestrian crossing.

The photographs and notes from the walkability audit and bicycle/pedestrian infrastructure assessment for the Johnson Drive to Cold Springs Road Connector are included in Figures 2-1 through 2-7. Existing conditions and proposed improvements are included for specific locations throughout the figures. For additional information on Cold Springs Road, Figures 7-1 through 7-7 describe the existing conditions and proposed improvements along the corridor that tie into the Connector.

RECOMMENDATIONS

A proposed pedestrian connection between Johnson Drive and Cold Springs Road would extend Johnson Drive south towards the intersection of Cold Springs Road and Horseshoe Circle. Due to the crossings of South River and Johns Run, further analysis will be necessary to better understand bridge options at each location. Given the existing floodplain limits, the proposed pedestrian crossing will need to (1) consist of options that include permeable materials capable of withstanding periods of prolonged flooding or (2) incorporate bridge structures to remove the facility from flood-prone areas. A proposed profile of the pedestrian connection can be found in Appendix F at the end of this report.

The preliminary cost estimates for the construction of a 3,500-foot pedestrian crossing vary based on the type of material proposed for the project. Four (4) options for consideration are presented below:

1. Stone Multi-Use Path Only – \$1,130,000
2. Asphalt Multi-Use Path Only – \$1,310,000
3. Permeable Pavement Multi-Use Path Only – \$1,490,000
4. Full-Depth Roadway and Multi-Use Path – \$4,240,000

These costs above include estimated right-of-way acquisition costs. However, a review of the area shows that the proposed crossing alignment is generally in undevelopable floodplain and the property values may be lower than assumed.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the four (4) options listed prior can be found in Appendix E.

3 PATTON FARM ROAD CULVERT

EXISTING CONDITIONS

A field site visit was performed on February 3, 2018 to review conditions of the existing pipe culvert carrying Patton Farm Road over the South River. The site visit includes an inspection report and review of the existing structure. Appendix C contains the full field report completed by Timmons Group on site.

The existing structure is an eight-barrel culvert carrying two lanes of traffic over the South River. A reinforced concrete endwall is cast at both the inlet and outlet of the pipes. A reinforced concrete slab carries traffic over the culvert. Site review shows that the structure is in good condition.

The structure was designed to allow overtopping to allow excess flow for the South River through the channel. The design was likely chosen to reduce the costs of additional grading and drainage installation that would have been required to construct the roadway above the floodplain of the South River. Due to the structure design for overtopping, the location of the structure within a curve, and no railing protection for vehicles from driving into the waterway, it is a susceptible location for drivers to exit the roadway at this location.

Existing traffic volumes and classification data were collected for Patton Farm Road (Route 634) at the South River Bridge on February 6/7, 2018. The data collection equipment was located immediately north of the bridge and not directly on the structure itself. Table 3-1 below summarizes the 2018 existing traffic volumes and classification breakdowns.

Table 3-1: 2018 Existing Traffic Volumes

Patton Farm Road (Route 634) - At South River Bridge				
	Direction	2018		
		AM	PM	24-Hour
Peak Hour Volume	NB	89	85	1046
	SB	23	148	1144
Heavy Vehicles (%)	NB	1%	2%	2%
	SB	0%	1%	1%

Appendix B, located at the end of this report, includes a complete copy of the pneumatic count data, broken down by hourly increments.

The latest VDOT structural review of the Patton Farm Road Culvert indicated that it is structurally deficient with a sufficiency rating of 48.1 (<50 indicates deficiency), a culvert rating of 5 (<5 indicates deficiency), and is designated as functionally obsolete. Therefore, it is recommended that the structure be replaced as soon as funding is available.

A review of the crash history at the Patton Farm Road Culvert indicated that six (6) crashes have occurred in the vicinity of the structure over the past six (6) years, with the majority of the crashes involving a vehicle leaving the roadway.

FUTURE CONDITIONS

In order to determine the future needs of the Patton Farm Road structure, projected volumes were needed for the year 2040. A review of the VDOT count data for Patton Farm Road over the past 7 years finds that traffic volumes are slightly reduced over the period. In order to provide some annual growth, a 1% traffic volume rate was used for the 2040 traffic volume projection. The average daily traffic volumes for the structure will increase from approximately 2,200 per day to approximately 2,725 vehicles per day.

A review of the historic VDOT count data noted that annual average daily traffic on Draft Avenue at the bridge fluctuated between 2,100 and 2,600 vehicles per day during the review period.

Table 3-2 below summarizes the 2018 existing traffic volumes and the projected 2040 traffic volumes.

Table 3-2: 2040 Projected Traffic Volumes

Patton Farm Road (Route 634) - At South River Bridge							
	Direction	2018			2040		
		AM	PM	24-Hour	AM	PM	ADT
Peak Hour Volume	NB	89	85	1046	111	106	1302
	SB	23	148	1144	29	184	1424

RECOMMENDATIONS

Consideration should be given to raising the grade of the Patton Farm Road culvert crossing to prevent frequent overtopping/flooding events. A detailed hydraulic analysis would be necessary to determine if this is achievable with larger pipes or a culvert, or if additional grading and a bridge structure is required. The preliminary cost estimate for completing a detailed hydraulic analysis for this structure would be \$25,000.

In order to provide an order of magnitude comparison of potential solutions, preliminary cost estimates were compiled for the following three (3) design scenarios:

- 10-Year Culvert/Bridge Design – \$2,490,000
- 25-Year Culvert/Bridge Design – \$3,580,000
- 100-Year Storm Culvert/Bridge Design – \$5,260,000

At a minimum, it is recommended that a railing or guardrail be installed to prevent vehicles from leaving the roadway and entering the waterway. The aforementioned hydraulic analysis would provide information on the allowable type of railing or guardrail that could be installed without worsening hydraulic conditions at the crossing. The preliminary cost estimate for installing a railing or guardrail along the existing structure is \$40,000, inclusive of all design costs.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the four (4) options can be found in Appendix E.

4 DRAFT AVENUE BRIDGE

EXISTING CONDITIONS

A field site visit was performed on February 3, 2018 to review conditions of the existing bridge carrying Draft Avenue over the South River. The site visit includes an inspection report and review of the existing structure. Appendix D contains the full field report completed by Timmons Group on site.

The existing structure consists of four simple spans, utilizing four cast-in-place reinforced concrete beams, carrying two lanes of traffic over the South River. The field inspection notes that the top of the bridge deck exhibits cracking throughout, with previously patched areas appearing to be sound. The expansion joints have failed at various locations at the piers and abutments, with the joint seal falling completely through the joint. The bottom of the bridge deck exhibits cracking and exposed deck reinforcing, which is corroded. Overall, the beams, piers, and abutments are in good condition. The heavy concentration of deterioration is likely due to water leaking through the failing joints.

Existing traffic volumes and classification data were collected for Draft Avenue (Route 608) at the South River Bridge on February 6/7, 2018. The data collection equipment was located immediately north of the bridge and not directly on the structure itself. Table 4-1 below summarizes the 2018 existing traffic volumes and classification breakdowns.

Table 4-1: 2018 Existing Traffic Volumes

Draft Avenue (Route 608) - At South River Bridge				
	Direction	2018		
		AM	PM	24-Hour
Peak Hour Volume	NB	321	287	3907
	SB	117	544	4104
Heavy Vehicles (%)	NB	2%	7%	4%
	SB	3%	3%	3%

Appendix B, located at the end of this report, includes a complete copy of the pneumatic count data, broken down by hourly increments.

The latest VDOT structural review of the Draft Avenue Bridge indicated that, while it is functionally obsolete, it is not structural deficient. The bridge has a sufficiency rating of 53.4 (<50 indicates deficiency), a deck rating of 5 (<5 indicates deficiency), a superstructure rating of 5 (<5 indicates deficiency), and a substructure rating of 7 (<5 indicates deficiency). Therefore, it is recommended that the bridge remain in service until such time that it no longer receives a sufficient rating for each structural component.

It should be noted that the Augusta County Comprehensive Plan includes a new Draft Avenue Bridge. Should a new bridge be installed, it is recommended that pedestrian accommodations be incorporated into the design to reduce overall costs associated with the pedestrian and bicycle plan.

FUTURE CONDITIONS

In order to determine the future needs of the Draft Avenue bridge, projected volumes were needed for the year 2040. A review of the historic VDOT count data for Draft Avenue over the past 7 years finds that traffic volumes are slightly reduced over the period. To provide some annual growth, a 1% traffic volume rate was used for the 2040 traffic volume projection. The average daily traffic volumes for the structure will increase from approximately 8,000 per day to approximately 9,975 vehicles per day.

A review of the historic VDOT count data noted that annual average daily traffic on Draft Avenue at the bridge fluctuated between 9,800 and 10,000 vehicles per day during the review period.

Table 4-2 below summarizes the 2018 existing traffic volumes and the projected 2040 traffic volumes.

Table 4-2: 2040 Projected Traffic Volumes

Draft Avenue (Route 608) - At South River Bridge							
	Direction	2018			2040		
		AM	PM	24-Hour	AM	PM	ADT
Peak Hour Volume	NB	321	287	3907	400	357	4863
	SB	117	544	4104	146	677	5108

RECOMMENDATIONS

The existing bridge structure on Draft Avenue is performing sufficiently under current conditions. It is recommended that the structure's load rating be reviewed/updated periodically to account for any further deterioration. Given that the existing bridge structure is sufficient under current conditions, it is assumed that the limited traffic volume growth over the next 22 years will not grow beyond the structural capacity of the Draft Avenue Bridge.

If widening of the existing structure is proposed for any bicycle/pedestrian, a superstructure replacement should be investigated as a potential alternative to a full bridge replacement due to the good condition of the substructure. The preliminary cost estimate to complete an analysis of the entire bridge structure relative to superstructure widening is \$10,000.

The installation of bicycle/pedestrian accommodations on the bridge with a superstructure replacement will require the remainder of the bridge be retrofitted to meet current VDOT design standards. The preliminary cost estimate to widen the existing bridge structure to accommodate pedestrians and bicycles is approximately \$5,680,000.

It may be more cost effective to install a pedestrian-only bridge span across the South River directly adjacent to the existing roadway bridge instead of widening the existing superstructure to allow pedestrian accommodations. The preliminary cost estimate to install a separate, pedestrian-only span is \$2,140,000.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the two (2) options can be found in Appendix E.

5 BICYCLE/PEDESTRIAN ASSESSMENT

EXISTING CONDITIONS

A field site visit was performed on February 8, 2018 to take notes and collect pictures/video of the subject roadways and existing conditions. The goal of the field visit was to perform a walkability audit and pedestrian assessment of the existing transportation facilities in the following areas:

1. Draft Avenue
 - Stuarts Draft Highway (Route 340) to Downtown Railroad Crossing
2. Wayne Avenue
 - Draft Avenue to Patton Farm Road
3. Draft Avenue/Howardsville Turnpike/Hodge Street/Lake Road
 - Downtown Railroad Crossing to Cold Springs Road
 - Cold Springs Road to Lake Road, on Howardsville Turnpike & Hodge Street
 - Along Lake Road to Gerties Lane/National Forest Entrance

Draft Avenue (Route 608) extends south from the signalized intersection of Stuarts Draft Highway (Route 340) and Tinkling Spring Road (Route 608). From Stuarts Draft Highway to the downtown at-grade railroad crossing, Draft Avenue is approximately 0.75 miles in length. The at-grade railroad crossing located on Draft Avenue signifies the end of the defined downtown area of Stuarts Draft proper. A review of Draft Avenue shows that it is zoned, on both sides, as general business or residential from Stuarts Draft Highway to the at-grade railroad crossing.

The recorded annual average daily traffic for Draft Avenue in 2016 was 12,000 vehicles per day. In addition, the available traffic data suggests that approximately 2% of all vehicles on Draft Avenue in 2016 were heavy vehicles. Draft Avenue is posted at 35 MPH south of Stuarts Draft Highway to the at-grade railroad crossing.

Draft Avenue is approximately 48 feet wide for the approach to the signalized intersection with Stuarts Draft Highway. The roadway narrows down to approximately 32 feet wide south of Sunset Drive. Draft Avenue varies between 32 feet and 36 feet wide in locations with shoulder and ditch; in areas with curb and gutter, the roadway is generally between 36 feet and 40 feet wide.

There is sidewalk located at the signalized intersection of Draft Avenue and Stuarts Draft Highway, however, it only extends as far as the first entrance on either side of Draft Avenue. No sidewalk is located on either side of Draft Avenue for approximately 750 feet before picking back up on both sides of Draft Avenue south of Manor Road. Sidewalks are present on both sides of the road from Manor Road until the downtown at-grade railroad crossing.

The photographs and notes from the walkability audit and bicycle/pedestrian infrastructure assessment for Draft Avenue are included in Figures 5-1 through 5-13. Existing conditions and proposed improvements are included for specific locations throughout the figures.

Draft Avenue (Route 608) extends south, from the downtown at-grade railroad crossing, approximately 0.75 miles, to its signalized intersection with Cold Springs Road (Route 608). Howardsville Turnpike (Route 610) extends south from the signalized intersection with Cold Springs Road and Draft Avenue. Along Howardsville Turnpike to the south is the intersection of Hodge Street

(Route 912), approximately 0.15 miles, and the intersection of Lake Road (Route 660), approximately 0.4 miles. Lake Road extends south of Howardsville Turnpike and runs approximately 1.4 miles to Gerties Lane/National Forest Entrance. Approximately 0.1 miles south of the Howardsville Turnpike/Lake Road is the Lake Road/Hodge Street intersection.

A review of this corridor shows that it is zoned general industrial, with some general business, in the section north of the South River and transitions to residential and general agriculture in the section south of the South River to Gerties Lane/National Forest Entrance. The entirety of this corridor does not have any bicycle or pedestrian infrastructure.

It should be noted that during the site field visit Howardsville Turnpike between Hodge Street and Lake Road was closed due to construction of widening and intersection improvements (VDOT UPC 80272). A review of the construction plans for this ongoing project shows that no pedestrian/bicycle accommodations are included in the current plans.

The recorded annual average daily traffic for each of the segments is noted as follows:

- Draft Avenue – 14,000 vehicles per day (2016)
- Howardsville Turnpike – 2,700 vehicles per day (2016)
- Hodge Street – 500 vehicles per day (2013)
- Lake Road – 930 vehicles per day (2013)

Draft Avenue is posted at 35 MPH immediately south of the downtown railroad crossing, transitions to 45 MPH south of Harold Cook Drive, and transitions back down to 35 MPH at the signalized intersection with Cold Springs Road and Howardsville Turnpike. Howardsville Turnpike is posted at 35 MPH south of signalized intersection with Cold Springs Road and Draft Avenue. Hodge Street and Lake Street are both posted at 25 MPH.

The bridge crossing over the South River presents a unique challenge due to its limited existing deck space for potential pedestrian or bicycle improvements. There are possibilities to widen the bridge deck while maintaining the substructure of the existing bridge. In addition, there may be more cost-effective solutions to provide a pedestrian bridge span separate from the vehicular bridge structure. Further discussion of these options is included in Chapter 4.

The photographs and notes from the walkability audit and bicycle/pedestrian infrastructure assessment for Draft Avenue/Howardsville Turnpike/Hodge Street/Lake Road are included in Figures 5-14 through 5-17. Existing conditions and proposed improvements are included for specific locations throughout the figures.

There are limited improvement options available for bicycle and pedestrian accommodations along Hodge Street and Lake Road due to low sight distance, narrow right-of-way, limited shoulders, and the vertical/horizontal curvature of the roadway that does not lend itself to having pedestrians located in shoulder and ditch sections.

Wayne Avenue (Route 639) extends east, from its unsignalized intersection with Draft Avenue (Route 608), approximately 2.4 miles, to its unsignalized intersection with Patton Farm Road (Route 634). A review of Wayne Avenue shows that it is zoned as general business close to Draft Avenue and transitions to residential and general agriculture moving east along the corridor.

The recorded annual average daily traffic for Wayne Avenue in 2016 was 1,400 vehicles per day. The available traffic data suggests that approximately less than 1% of all vehicles on Wayne Avenue in 2016 were heavy vehicles. In addition, Wayne Avenue was signed to restrict truck access at its intersection with Draft Avenue. Wayne Avenue is posted at 25 MPH immediately east of Draft Avenue, transitions to 35 MPH east of Schneider Community Park, and transitions to unposted (statutory 55 MPH) west of the Stuarts Draft Wastewater Treatment Plant entrance.

Outside of the sidewalks provided by business properties along the first 250 feet of Wayne Avenue near the Draft Avenue intersection, the remainder of the Wayne Avenue corridor does not have any bicycle or pedestrian infrastructure.

A review of the crash history within the study area indicated that there have been two (2) pedestrian crashes and one (1) bicycle crash over the past six (6) years. There does not appear to be a pattern or concentration of pedestrian or bicycle crashes. The improvements recommended within this report will provide additional safety benefits to non-motorized traffic within the study area and reduce the potential for crashes involving pedestrians and bicyclists.

The photographs and notes from the walkability audit and bicycle/pedestrian infrastructure assessment for Wayne Avenue are included in Figures 6-1 through 6-9. Existing conditions and proposed improvements are included for specific locations throughout the figures.

RECOMMENDATIONS – DRAFT AVENUE

There are several recommendations for pedestrian and bicycle infrastructure along the Draft Avenue, Wayne Avenue, and Cold Springs Road corridors. The following sections discuss the options available to increase pedestrian and bicycle accommodations throughout the study area.

The signalized intersection of Stuarts Draft Highway and Draft Avenue is not ADA-compliant. The existing sidewalk is not wide enough and exceeds grade specifications, the pedestrian curb ramps are not compliant, and one (1) pedestrian push button is located behind a decorative wall that prevents access. The preliminary cost estimate to rectify these issues is \$25,000 for construction, with the understanding that limited design work needs to be completed and no right-of-way is required.

The sidewalk network along Draft Avenue is incomplete, with an 800-foot stretch missing between Stuarts Draft Highway and Manor Road. To match the remainder of the Draft Avenue corridor, it is recommended that sidewalk be installed on both sides of the roadway; however, as a cost saving measure, installation could be limited to one (1) side. The sidewalk should be installed to the latest VDOT standards, including the use of a proper buffer strip, curb ramps (per VDOT Road Design Manual), and crosswalk treatments (per VDOT IIM TE-384) at all intersecting roadways/entrances. The preliminary cost estimate for installing 1,600 feet of sidewalk along Draft Avenue is approximately \$1,100,000. The higher values for properties along Draft Avenue contributes to the above average cost, which equates to \$675 per linear foot.

A second option for the Draft Avenue corridor is to install ADA-compliant pedestrian crossings along the corridor and address existing sidewalk deficiencies; this does not include new or expanded sidewalks along the corridor. There are multiple segments and intersections along Draft Avenue that need to be addressed. The preliminary cost estimate to address all ADA compliance issues along the corridor is \$450,000, with a per location cost of approximately \$22,500. This number includes utility and right-of-way costs, which may be removed after further study and lower the estimated overall cost. It should be noted that this estimate includes costs associated with improvements considered for the at-grade railroad crossing.

A third option for Draft Avenue is the installation of pavement markings along the corridor that delineate bicycle lanes/sharrows, pedestrian crossings, and designated parking zones. The improvement area for the pavement markings measures approximately 4,000 feet in length. The preliminary cost estimate for completing a restriping of the Draft Avenue corridor is \$210,000. This does not include a mill/overlay of the existing pavement to remove the existing pavement markings; this option only assumes new pavement markings and minimal changes to existing pavement markings.

A fourth option for Draft Avenue is the construction of 3,700 feet of sidewalk improvements from the at-grade railroad crossing south to Cold Springs Road, along the western side of the roadway. The sidewalk should be installed to the latest VDOT standards, including the use of a proper buffer strip, curb ramps (per VDOT Road Design Manual), and crosswalk treatments (per VDOT IIM TE-384) at all intersecting roadways/entrances. The preliminary cost estimates associated with constructing ADA-compliant sidewalks along the Draft Avenue corridor south of the at-grade railroad crossing is approximately \$2,270,000. This equates to a cost of approximately \$615 per linear foot. Again, this estimate includes utility and right-of-way costs, and could be lowered depending upon contributions and design considerations.

A fifth option for Draft Avenue is widening the entire length of the roadway from Stuarts Draft Highway to Cold Springs Road so as to accommodate full-width bicycle and pedestrian accommodations in both directions of travel. These improvements measure approximately 7,700 feet in length and represent the ultimate future option for improvements along Draft Avenue. The preliminary cost to complete the road widening and associated bicycle and pedestrian accommodations is approximately \$12,130,000, or \$1,600 per linear foot.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the Draft Avenue corridor options can be found in Appendix E.

RECOMMENDATIONS – WAYNE AVENUE

The improvements along Wayne Avenue are divided into two (2) separate sections – one from Draft Avenue to Crestview Drive and a second from Crestview Drive to Patton Farm Road. The section from Draft Avenue to Crestview Drive is approximately 1,500 feet in length and would be best served by ADA-compliant upgrades to the existing sidewalk and the installation of new sidewalk along the south side of Wayne Avenue to connect to existing Schneider Community Park. The sidewalk should be installed to the latest VDOT standards, including the use of a proper buffer strip, curb ramps (per VDOT Road Design Manual), and crosswalk treatments (per VDOT IIM TE-384) at all intersecting roadways/entrances. The section from Crestview Drive to Patton Farm Road is approximately 11,000 feet in length and would best be served by installation of a section of greenway or an independent multi-use path along the south side of Wayne Avenue.

The preliminary cost estimates associated with upgrading the existing sidewalk to be ADA-compliant and installing new sidewalk along the western section of Wayne Avenue is approximately \$950,000. The estimated costs of installing the multi-use path along the south side of Wayne Avenue from Crestview Drive to Patton Farm Road is approximately \$2,780,000. All costs include right-of-way, which may be reduced if land donations are made by adjacent owners.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the Wayne Avenue corridor options can be found in Appendix E.

RECOMMENDATIONS – COLD SPRINGS ROAD

Improvements along Cold Springs Road include the installation of sidewalk along the north and south sides, alternating as necessary to accommodate pedestrian generators and take advantage of grading cost savings, where applicable. The sidewalk should be installed to the latest VDOT standards, including the use of a proper buffer strip, curb ramps (per VDOT Road Design Manual), and crosswalk treatments (per VDOT IIM TE-384) at all intersecting roadways/entrances. This section spans from Draft Avenue to Horseshoe Circle, a distance of approximately 4,250 linear feet. The preliminary cost estimates associated with constructing ADA-compliant sidewalks along the entirety of Cold Springs Road corridor is approximately \$2,440,000, or approximately \$600 per linear foot.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the Cold Springs Road corridor options can be found in Appendix E.

RECOMMENDATIONS – HOWARDSVILLE TURNPIKE/HODGE STREET

The improvements south of Cold Springs Road, on Howardsville Turnpike and Hodge Street, include installation of sidewalk along the western side of Howardsville Turnpike for approximately 850 feet and along the eastern side of Hodge Street for approximately 1,900 feet, for a total of 2,750 feet. In addition, the existing traffic signal on the intersection of Howardsville Turnpike and Cold Springs Road will require upgrades to allow for the installation of pedestrian signal heads and push buttons for the crossing of Cold Springs Road.

The preliminary cost estimates associated with constructing ADA-compliant sidewalks along the entire Howardsville Turnpike/Hodge Street corridor is approximately \$1,700,000, which equates to approximately \$600 per linear foot; this number excludes the previously mentioned pedestrian signal improvements for cost comparison purposes.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the Howardsville Turnpike/Hodge Street corridor options can be found in Appendix E.

RECOMMENDATIONS – GREENWAY

One option for improving the bicycle and pedestrian infrastructure within Stuarts Draft is the installation of a circular greenway that connects Johnson Drive to Patton Farm Road along the South River and along Wayne Avenue that measures approximately 7.5 miles. Similar to the Johnson Drive to Cold Springs Road Connector, the greenway has three (3) options for construction: stone only, asphalt, or permeable pavement. Each of the options has benefits and costs based on the materials and required construction techniques within a floodplain.

The stone only option has a cost per mile of approximately \$710,000, equivalent to approximately \$135 per linear foot. The asphalt option has a cost per mile of approximately \$820,000, equivalent to approximately \$160 per linear foot. The permeable pavement option has a cost per mile of approximately \$1,100,000, equivalent to approximately \$210 per linear foot. The provided costs include preliminary engineering, design, right-of-way, utilities, and construction.

A detailed breakdown of preliminary engineering, right of way, and construction costs for the greenway options can be found in Appendix E.

6 CONCLUSIONS

A proposed pedestrian connection between Johnson Drive and Cold Springs Road would follow the existing alignment of Johnson Drive south directly towards the intersection of Cold Springs Road and Horseshoe Circle. Due to the crossings of South River and Johns Run, additional analysis is recommended to identify the optimal alignment. Given the floodplain limits, the proposed pedestrian corridor will need to (1) be constructed using permeable materials able to withstand periods of prolonged flooding or (2) incorporate bridge options that remove the facility from flood-prone areas.

The preliminary cost estimate for the construction of a pedestrian crossing varies based on the type of material utilized in the project. Four (4) options are presented for consideration:

1. Stone Multi-Use Path Only – \$1,130,000
2. Asphalt Multi-Use Path Only – \$1,310,000
3. Permeable Pavement Multi-Use Path Only – \$1,490,000
4. Full-Depth Roadway and Multi-Use Path – \$4,240,000

These costs above include estimated right-of-way acquisition costs. However, a review of the area shows that the proposed crossing alignment is generally in undevelopable floodplain and the property values may be lower than assumed.

Consideration should be given to raising the grade of the Patton Farm Road culvert crossing to prevent frequent overtopping/flooding events. As indicated, the VDOT structural review provided a deficient rating for the culvert. A detailed hydraulic analysis would be necessary to determine if this is achievable with larger pipes or a culvert, or if additional grading and a bridge structure is required. The preliminary cost estimate for completing a detailed hydraulic analysis for this structure would be \$25,000.

In order to provide an order of magnitude comparison of potential solutions, preliminary cost estimate were compiled for the following three (3) design scenarios:

- 10-Year Culvert/Bridge Design – \$2,490,000
- 25-Year Culvert/Bridge Design – \$3,580,000
- 100-Year Storm Culvert/Bridge Design – \$5,260,000

At a minimum, it is recommended that a railing or guardrail be installed to prevent vehicles from leaving the roadway and entering the waterway. The aforementioned hydraulic analysis would provide information on the allowable type of railing or guardrail that could be installed without worsening hydraulic conditions at the crossing. The preliminary cost estimate for installing a railing or guardrail along the existing structure is \$40,000, inclusive of all design costs. Consideration should be given to installing new/enhanced pavement markings and additional signage to address the current safety concerns at this location.

The existing bridge structure on Draft Avenue is performing sufficiently under current conditions. In addition, the VDOT structural review indicated that the bridge is functioning at a sufficient level. It is recommended that the structure's load rating be updated periodically to account for any further deterioration. Given that the existing bridge structure is sufficient under current conditions, it is assumed that the limited traffic volume growth over the next 22 years will not grow beyond the structural capacity of the Draft Avenue Bridge.

If widening of the existing structure is proposed for any bicycle/pedestrian, a superstructure replacement should be investigated as a potential alternative to a full bridge replacement due to the good condition of the substructure. The preliminary cost estimate to complete an analysis of the entire bridge structure relative to superstructure widening is \$10,000.

The installation of bicycle/pedestrian accommodations on the bridge with a superstructure replacement will require the remainder of the bridge be retrofitted to meet current VDOT design standards. The preliminary cost estimate to widen the existing bridge structure to accommodate pedestrians and bicycles is approximately \$5,680,000.

It may be more cost effective to install a pedestrian-only bridge span across the South River directly adjacent to the existing roadway bridge instead of widening the existing superstructure to allow pedestrian accommodations. The preliminary cost estimate to install a separate, pedestrian-only span is \$2,140,000.

The Augusta County Comprehensive Plan includes a new Draft Avenue Bridge. Should a new bridge be installed, it is recommended that pedestrian accommodations be incorporated into the design to reduce overall costs associated with the pedestrian and bicycle plan. This would alleviate the costs listed above for installing a new bridge superstructure or a separate, pedestrian-only span.

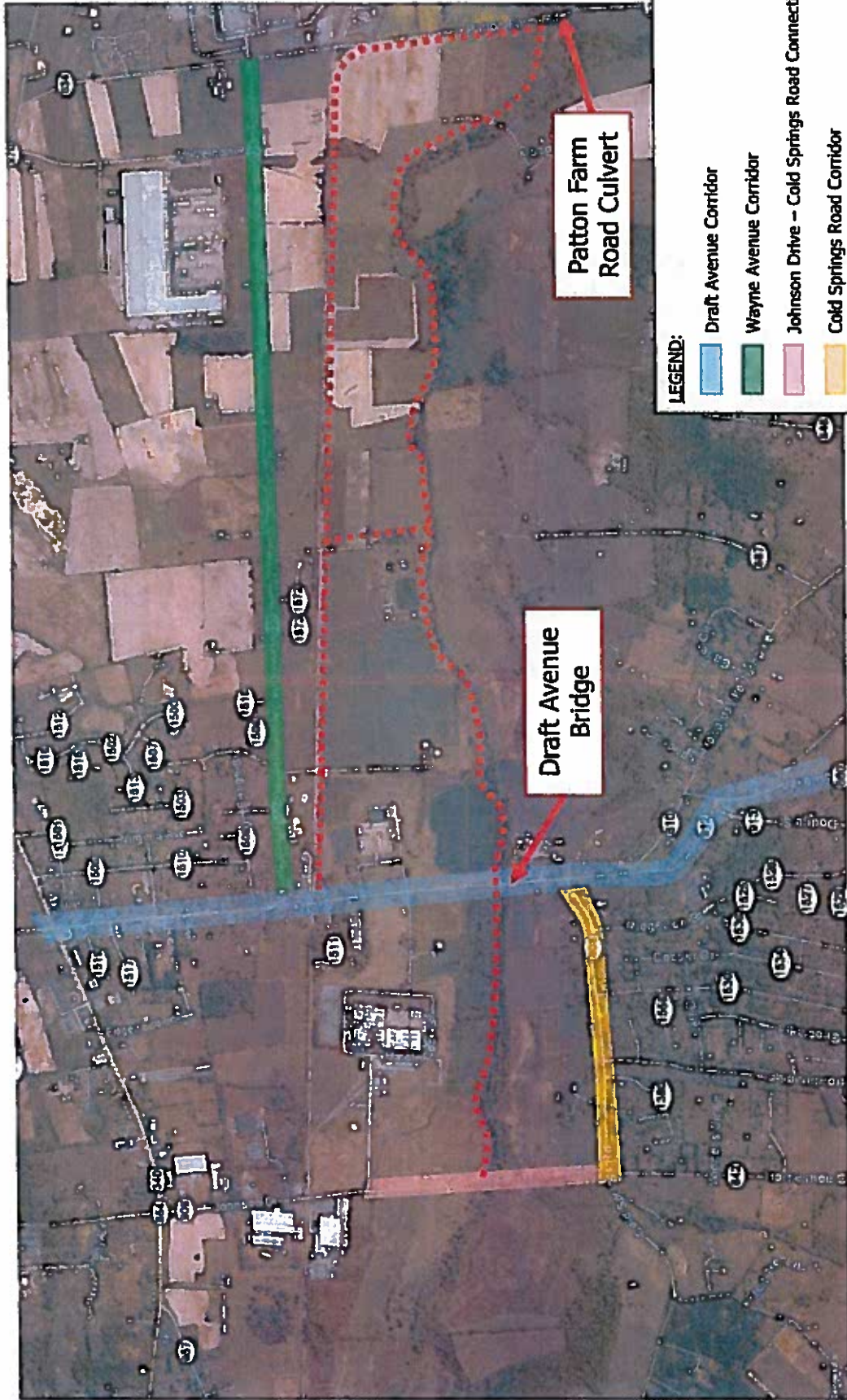
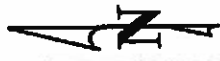
With respect to the pedestrian and bicycle improvements along the Draft Avenue, Wayne Avenue, Cold Springs Road, Howardsville Turnpike, and Hodge Street corridors, there are multiple options available to address the current ADA compliance issues and citizen needs. All sidewalk will be installed to the latest VDOT standards, including the use of a proper buffer strip, curb ramps (per VDOT Road Design Manual), and crosswalk treatments (per VDOT IIM TE-384) at all intersecting roadways/entrances. Cost estimates provided include the option to install sidewalks along each of these corridors, pavement markings only improvements on Draft Avenue, and a cost to implement the ultimate cross-section of Draft Avenue.

A detailed breakdown of preliminary engineering, right of way, and construction costs for all options presented within this report can be found in Appendix E.

One option for improving the bicycle and pedestrian infrastructure within Stuarts Draft is the installation of a circular greenway that connects Johnson Drive to Patton Farm Road along the South River and along Wayne Avenue that measures approximately 7.5 miles. Similar to the Johnson Drive to Cold Springs Road Connector, the greenway has three (3) options for construction: stone only, asphalt, or permeable pavement. Each of the options has benefits and costs based on the materials and required construction techniques within a floodplain.

The stone only option has a cost per mile of approximately \$710,000, equivalent to approximately \$135 per linear foot. The asphalt option has a cost per mile of approximately \$820,000, equivalent to approximately \$160 per linear foot. The permeable pavement option has a cost per mile of approximately \$1,100,000, equivalent to approximately \$210 per linear foot. The provided costs include preliminary engineering, design, right-of-way, utilities, and construction.

All figures included in this report illustrate problems and recommended solutions as noted during the walkability audit of the existing bicycle/pedestrian infrastructure. Proposed improvements range from pavement markings and signage to pedestrian bridges, new sidewalk locations and new roads. Ultimately, the decision will be based on the citizen's chosen initiative and available funding.



LEGEND:

- Draft Avenue Corridor
- Wayne Avenue Corridor
- Johnson Drive - Cold Springs Road Connection
- Cold Springs Road Corridor
- Stuarts Draft Greenway (Conceptual)

NOT TO SCALE

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment

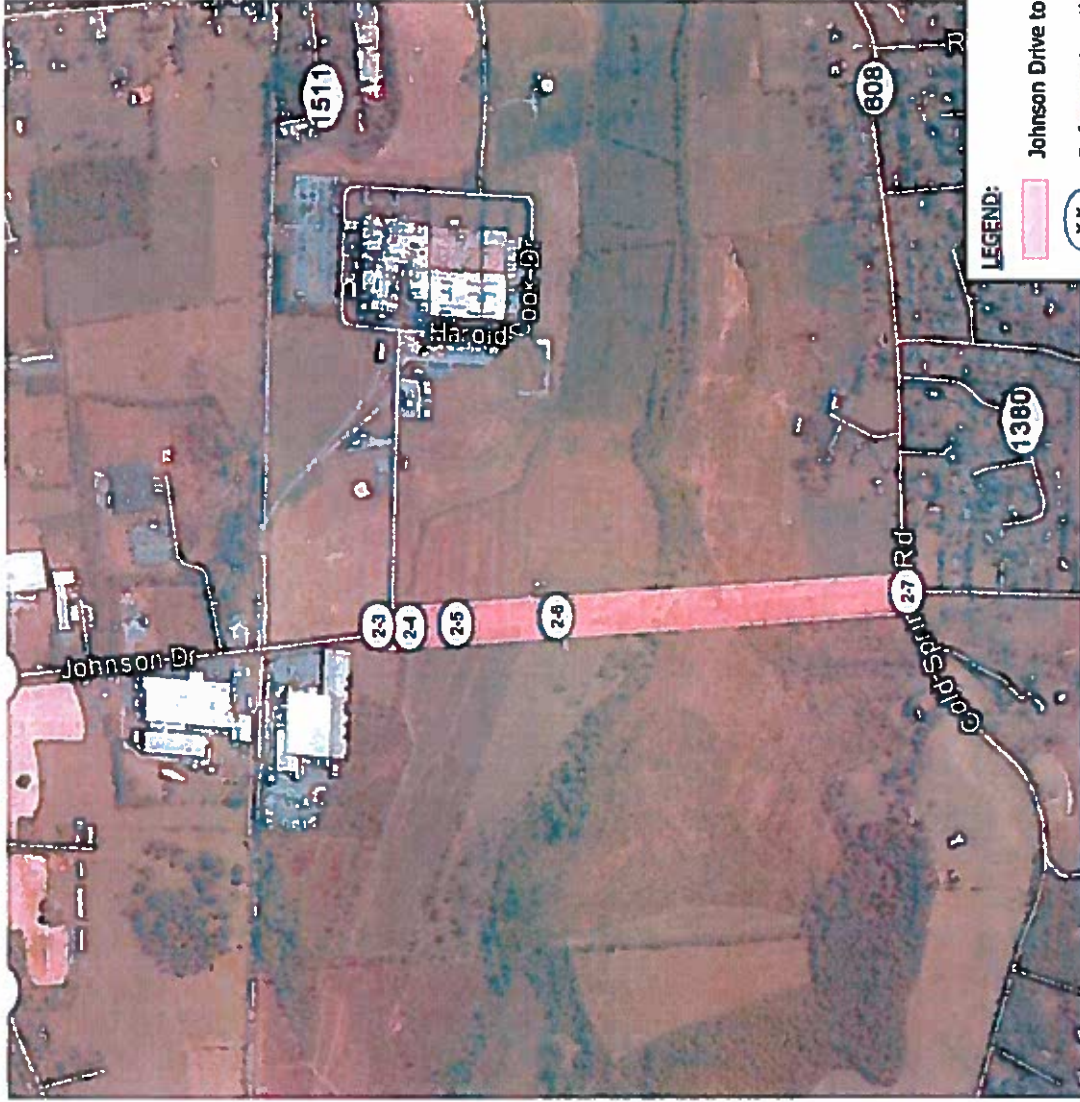
Study Areas Stuarts Draft, Virginia

Figure

1-1



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LEGEND:

Johnson Drive to Cold Springs Road Connection

Reference Location (Refer to Figure #)



NOT TO SCALE



Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment Assessment Locations – Johnson Dr to Cold Springs Rd Stuarts Draft, Virginia

Figure
2-1



MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

OTHER AREAS

- Area of Minimal Flood Hazard Zone X
- Effective LOMs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

NOT TO SCALE

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
- With BFE or Depth
- Regulatory Floodway Zone A, AC, AE, AH, AO, AR, AW, AX

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levees, See Notes, Zone X
- Area with Flood Risk due to Levees Zone D

OTHER FEATURES

- Cross Sections with 1% Annual Chance
- Water Surface Elevation
- Coastal Traverset
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Traverset Baseline
- Profile Baseline
- Hydrographic Feature

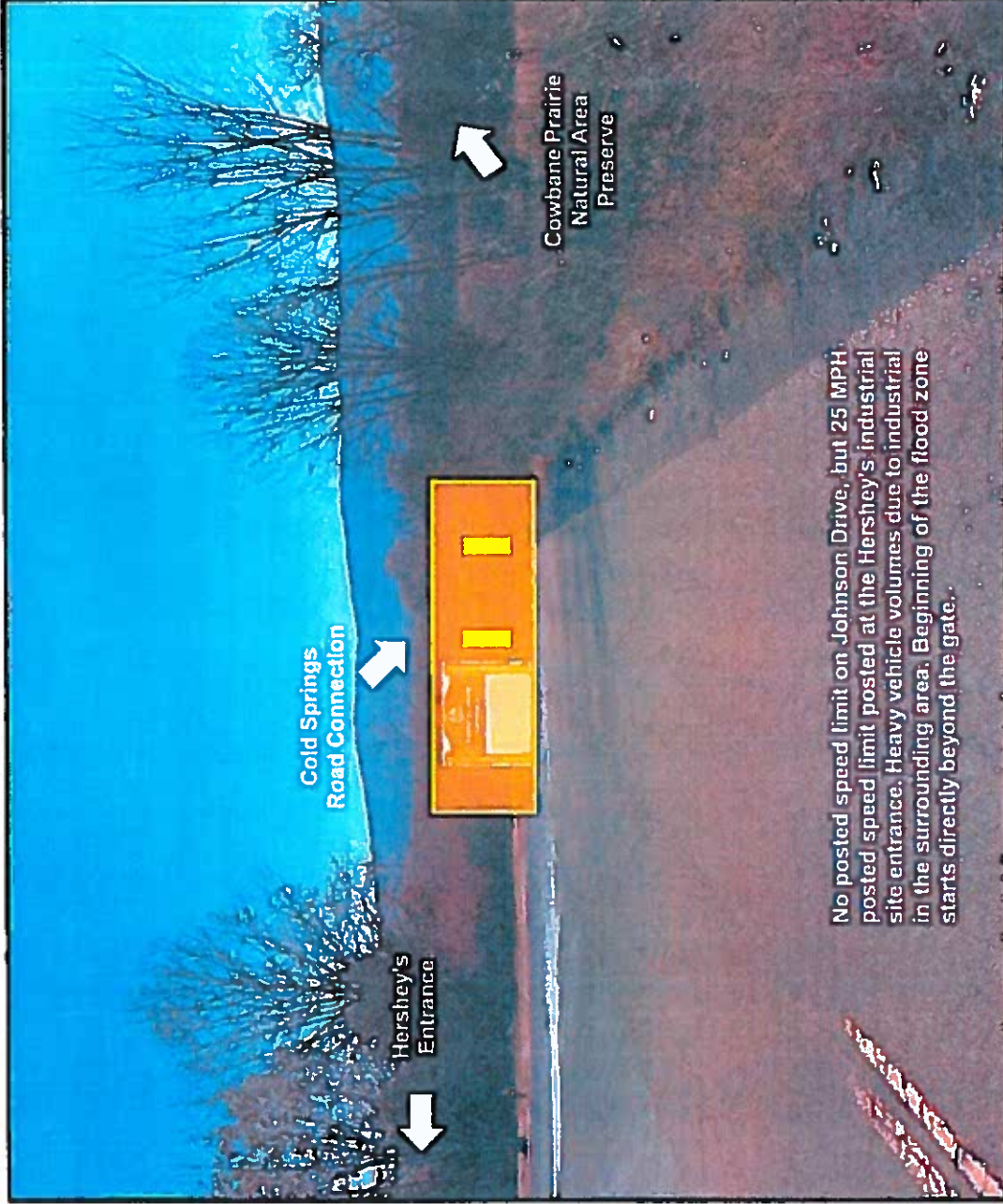
OTHER FEATURES

- Johnson Drive to Cold Springs Road Connection

Source: FEMA Flood Map Service Center - Augusta County Unincorporated Areas

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 FEMA Flood Map - Johnson Dr to Cold Springs Rd Connection
 Stuarts Draft, Virginia



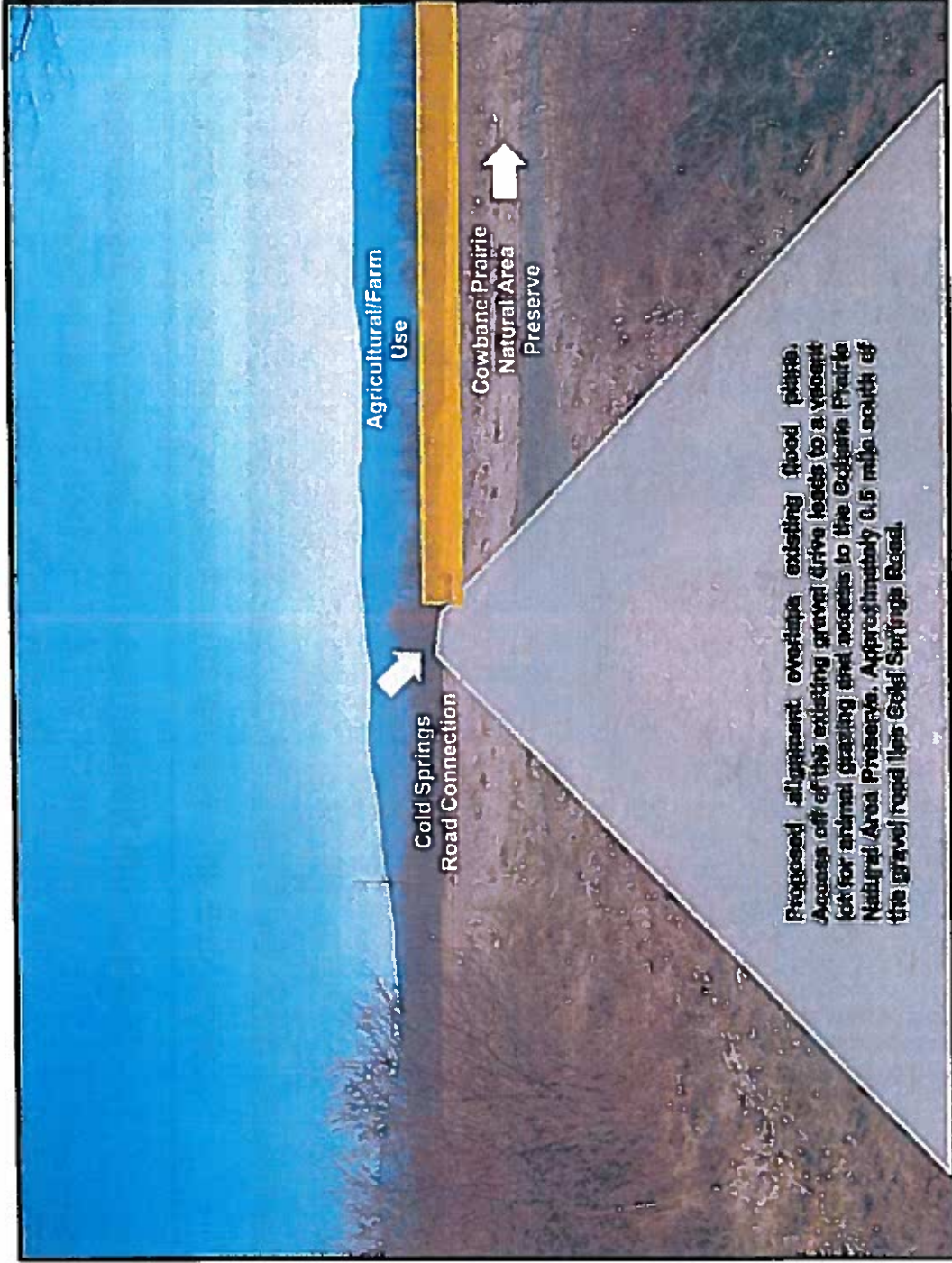


Johnson Drive - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Johnson Dr to Cold Springs Rd Connection
 Stuarts Draft, Virginia



Figure
 2-3



Johnson Drive - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Johnson Dr to Cold Springs Rd Connection
 Stuarts Draft, Virginia

Figure
 2-4

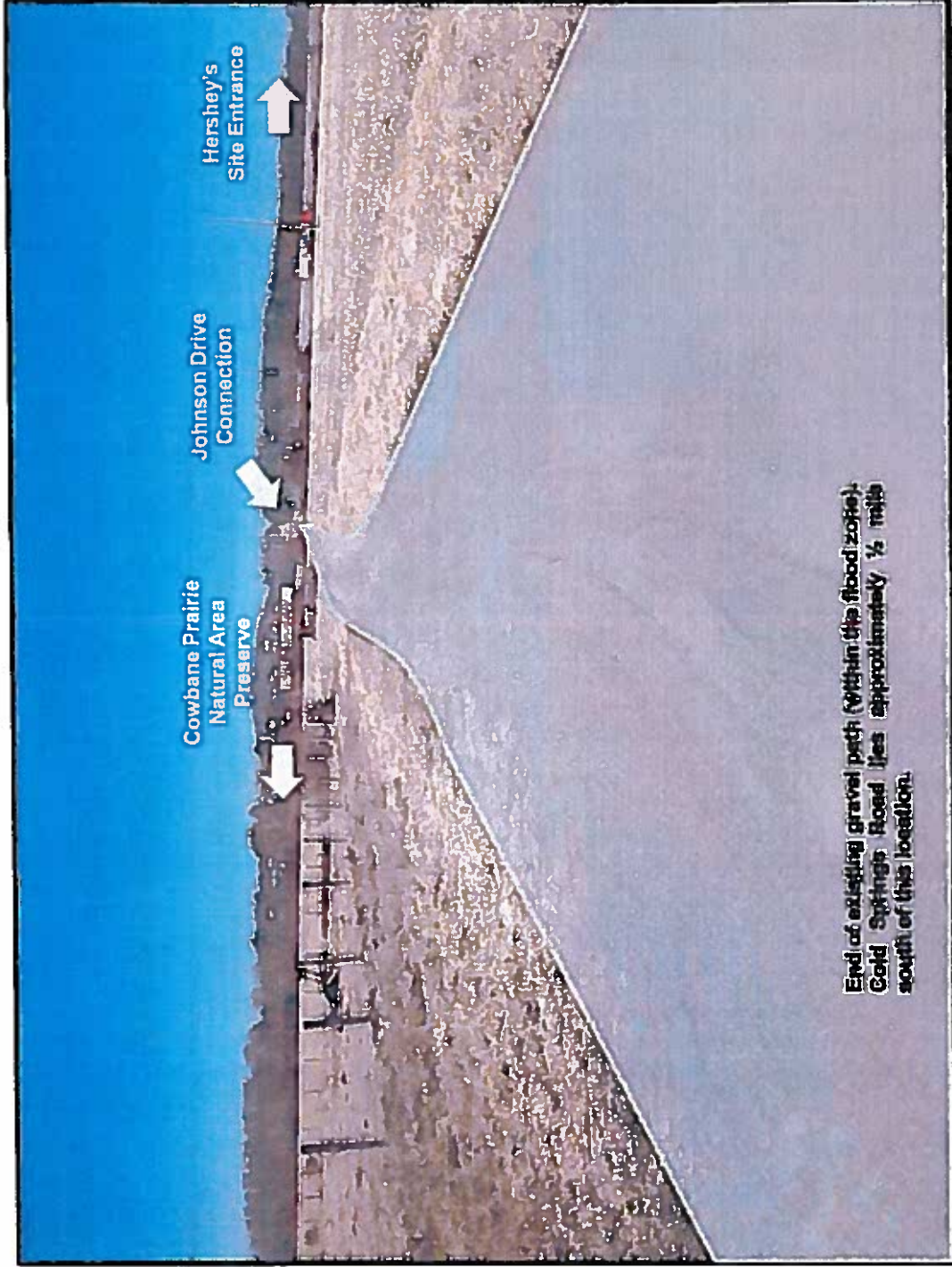


Preserve entrance lies directly off of the proposed path alignment.

Cowbane Prairie Natural Area Preserve Entrance - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Johnson Dr to Cold Springs Rd Connection
Stuarts Draft, Virginia

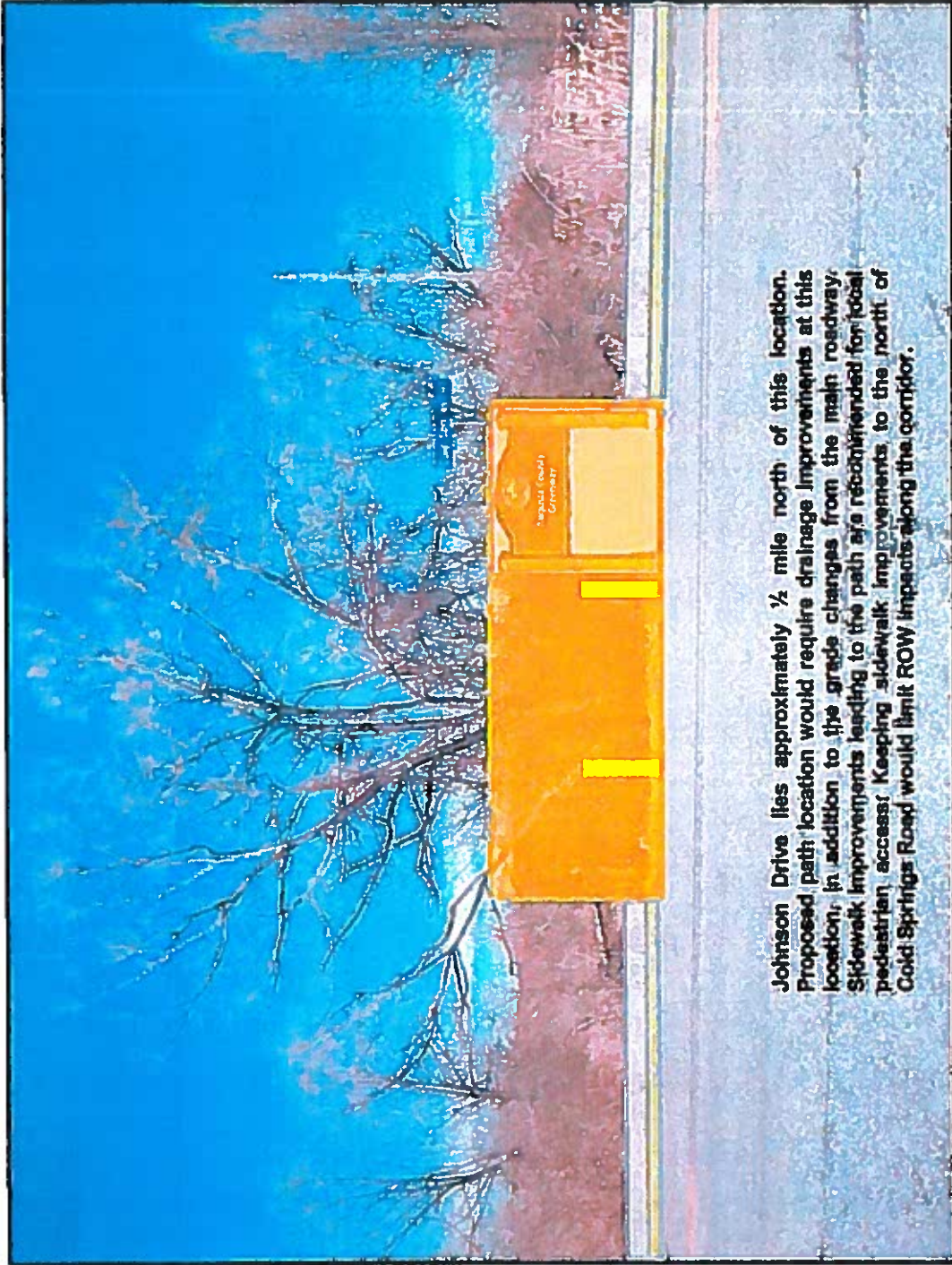
Figure
2-5



Johnson Drive - Northbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Johnson Dr to Cold Springs Rd Connection
 Stuarts Draft, Virginia

Figure
 2-6



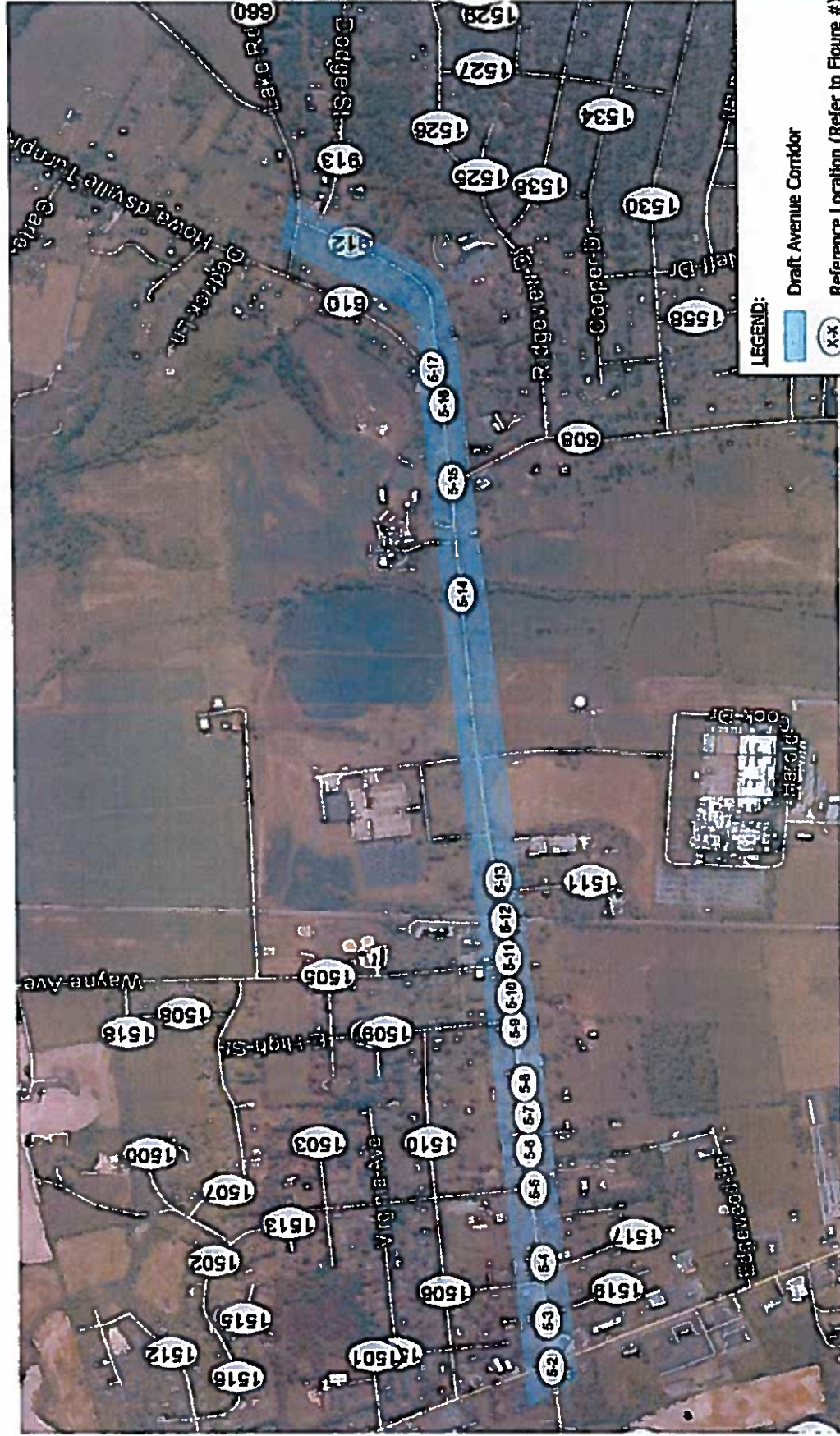
Johnson Drive lies approximately 1/4 mile north of this location. Proposed path location would require drainage improvements at this location, in addition to the grade changes from the main roadway. Sidewalk improvements leading to the path are recommended for local pedestrian access. Keeping sidewalk improvements to the north of Cold Springs Road would limit ROW impacts along the corridor.

Cold Springs Road & Horseshoe Circle - Northbound

**Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Johnson Dr to Cold Springs Rd Connection
Stuarts Draft, Virginia**

**Figure
2-7**





NOT TO SCALE

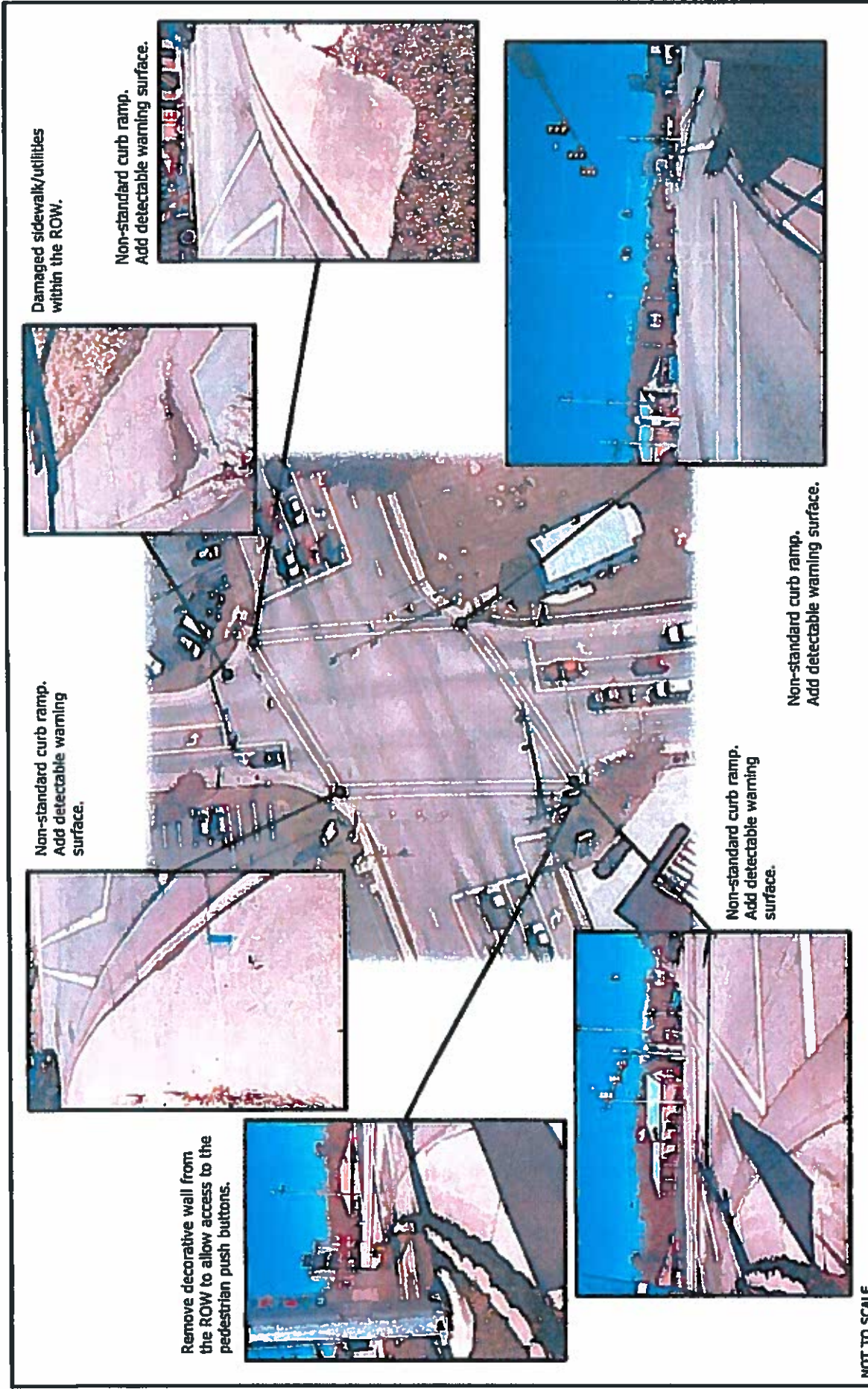
Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment

Assessment Locations – Draft Avenue

Stuarts Draft, Virginia

Figure
5-1

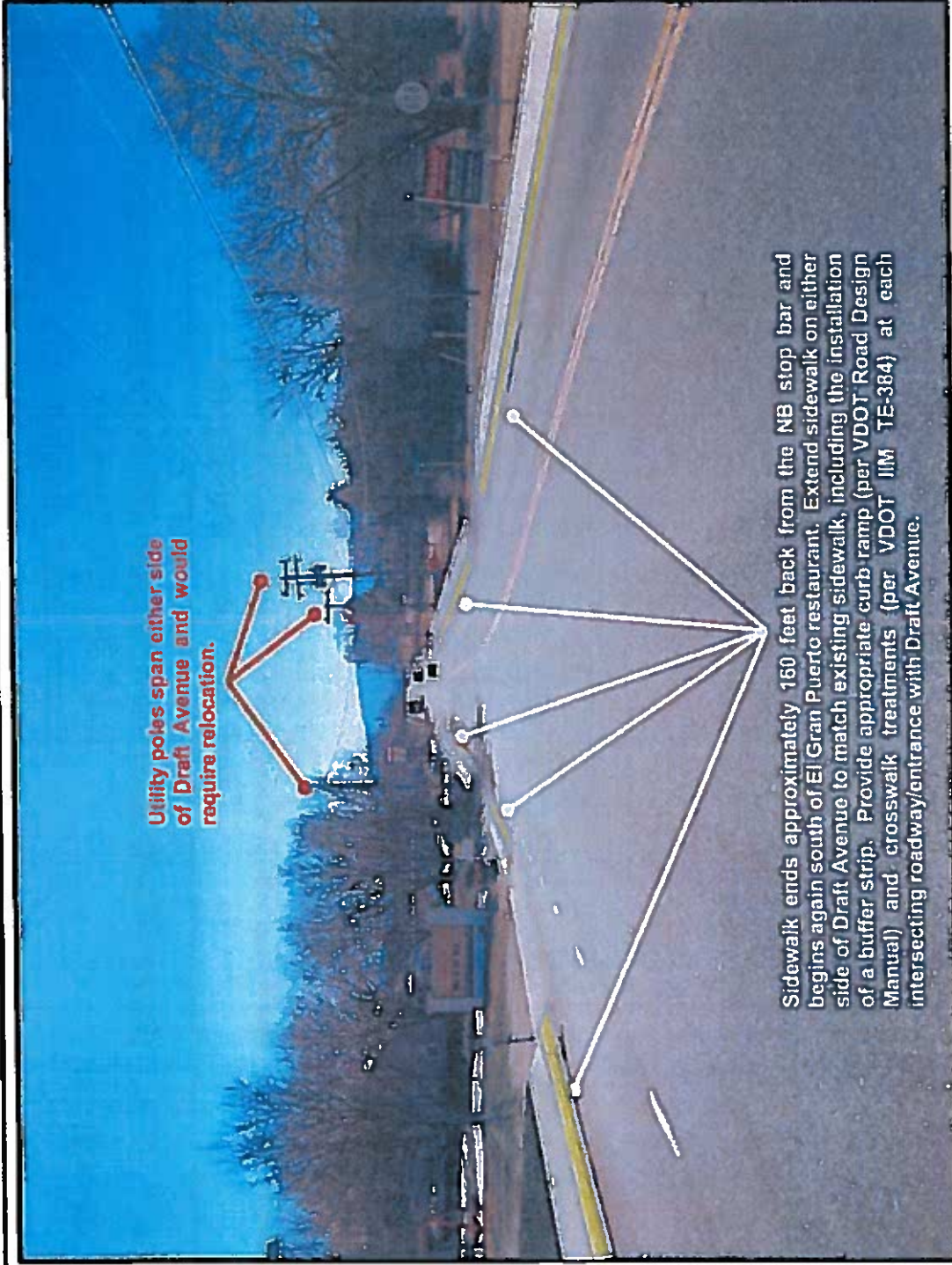




NOT TO SCALE

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Draft Avenue Corridor
 Signalized Intersection – Stuarts Draft Hwy & Draft Ave
 Stuarts Draft, Virginia

Figure
 5-2



Utility poles span either side of Draft Avenue and would require relocation.

Sidewalk ends approximately 160 feet back from the NB stop bar and begins again south of El Gran Puerto restaurant. Extend sidewalk on either side of Draft Avenue to match existing sidewalk, including the installation of a buffer strip. Provide appropriate curb ramp (per VDOT Road Design Manual) and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance with Draft Avenue.

Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Draft Avenue Corridor
 Stuarts Draft, Virginia

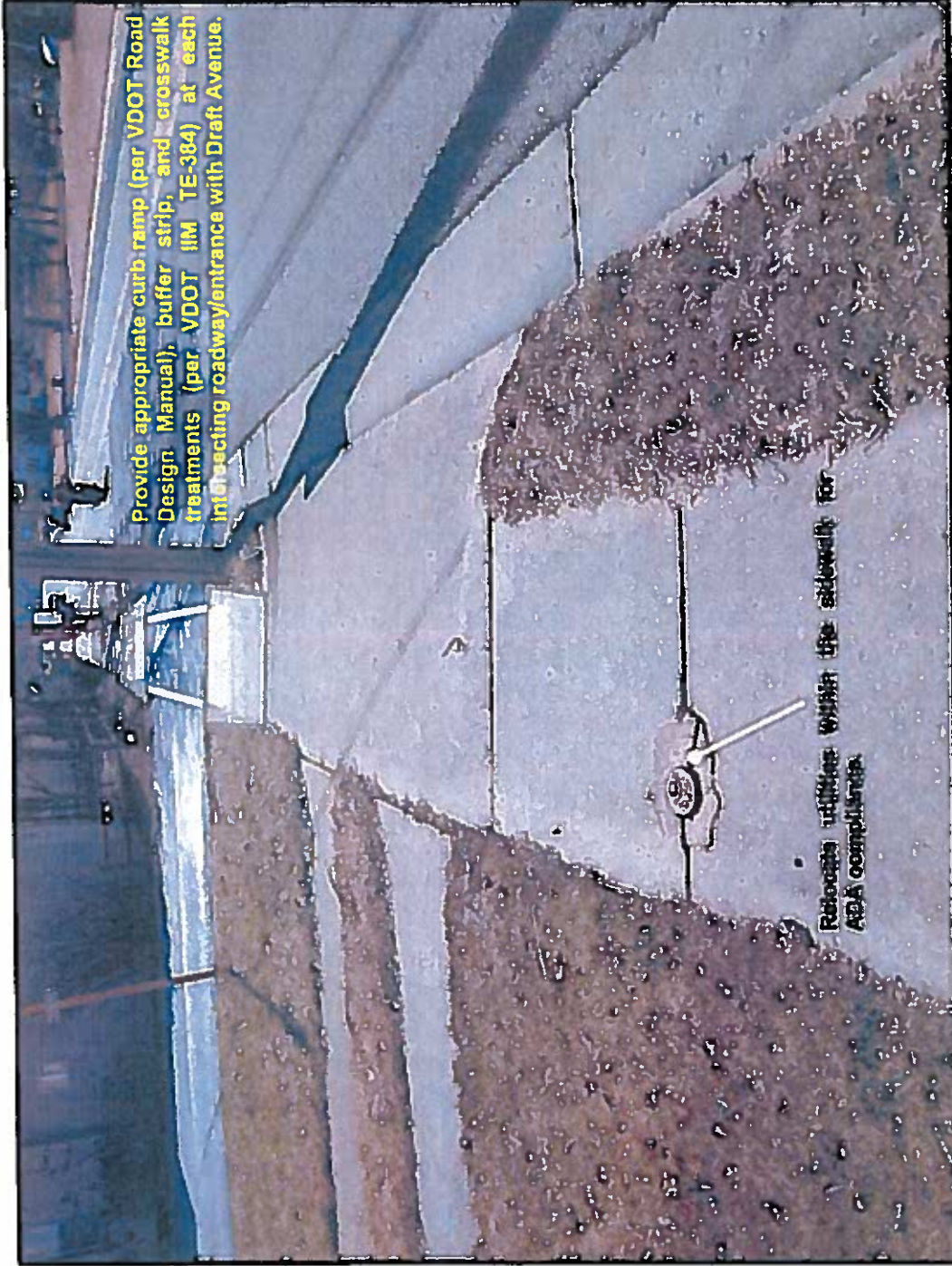
Figure
 5-3



Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-4



Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Draft Avenue Corridor
 Stuarts Draft, Virginia

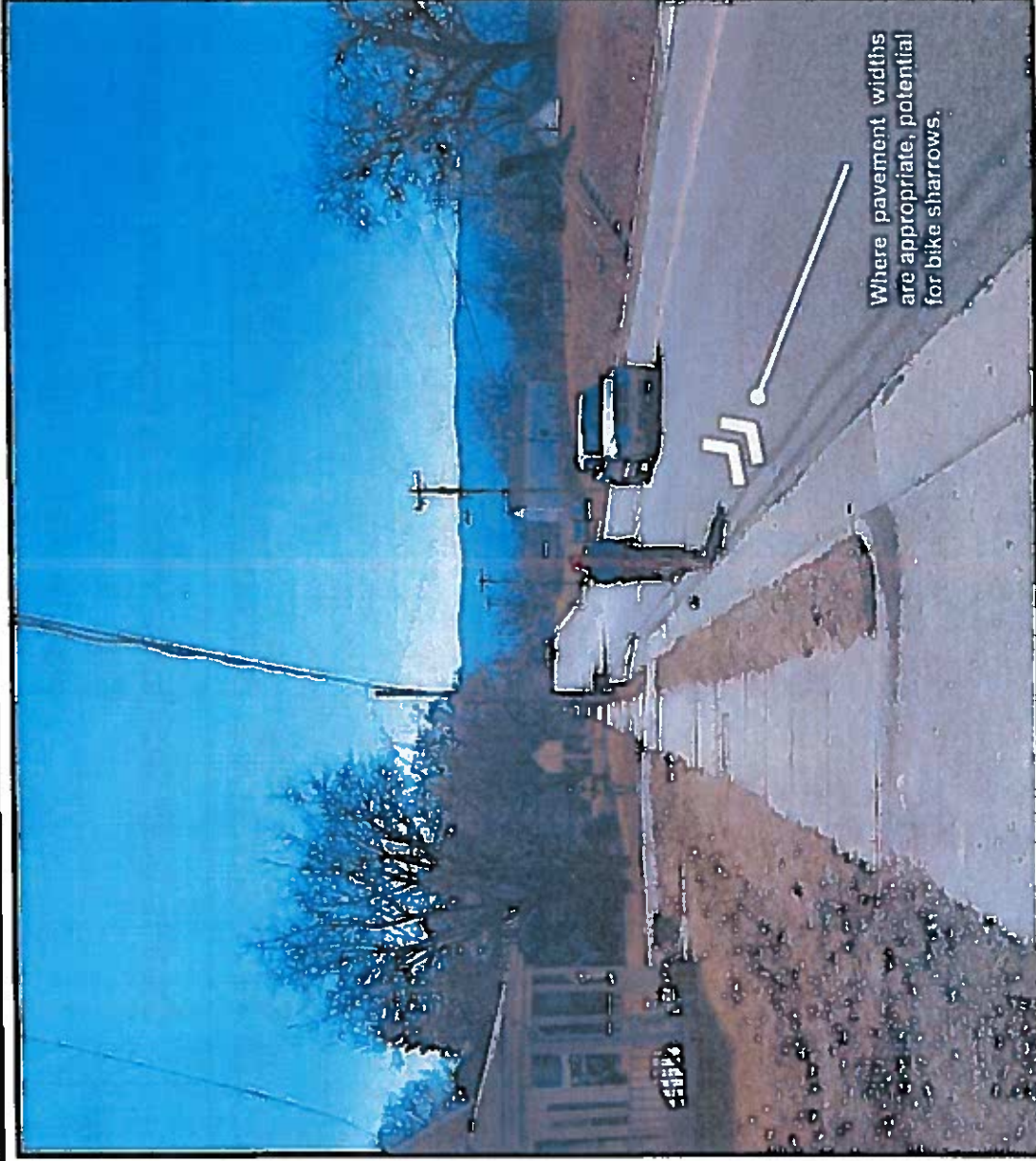
Figure
 5-5



Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-6



Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-7



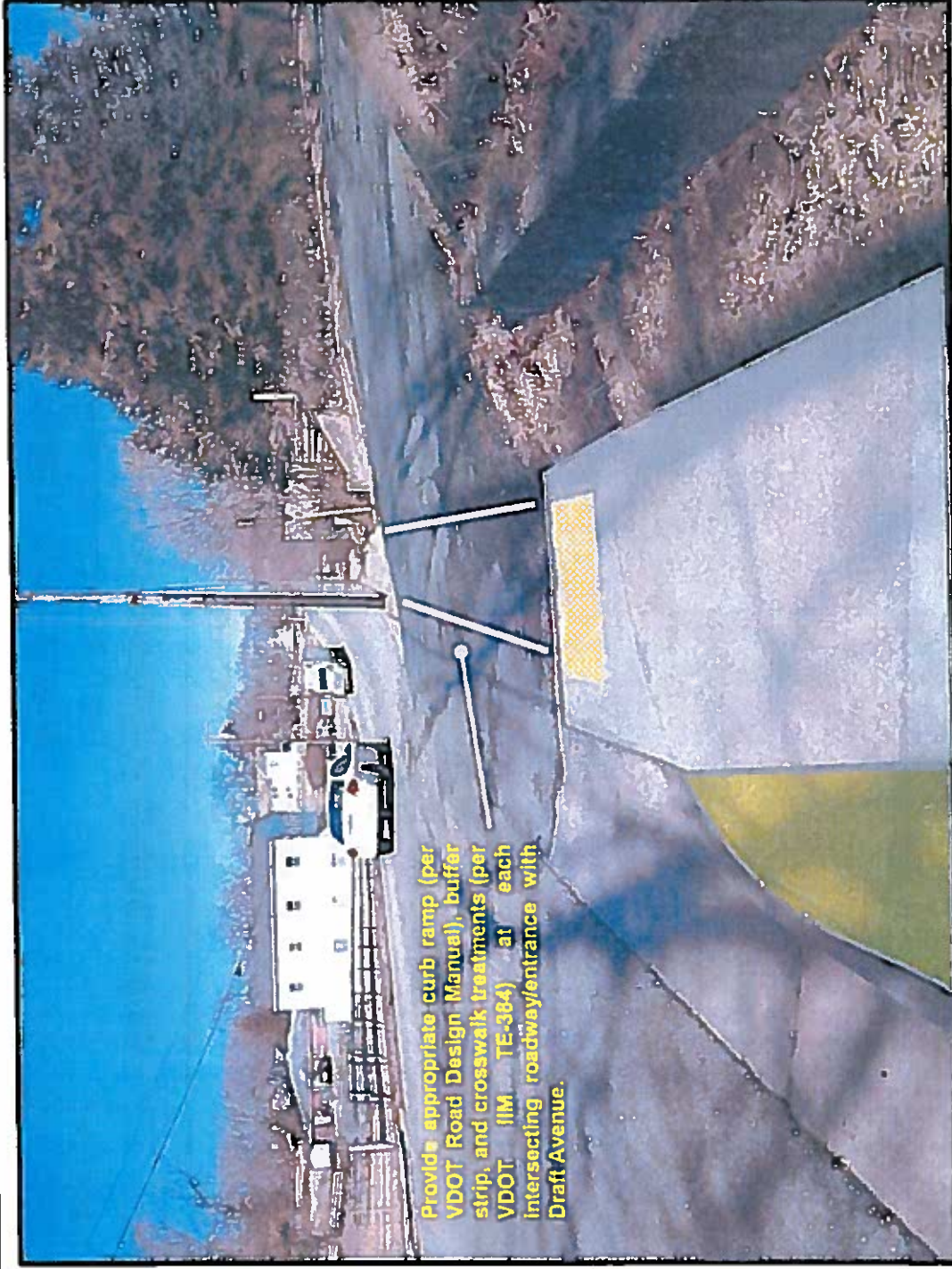
Repair sidewalk areas where utilities are in conflict of ADA compliance and where concrete is unsuitable for pedestrians.



Provide separation from sidewalk and open culvert catch basin with bollards or fencing.

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-8



Draft Avenue - Northbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Draft Avenue Corridor
 Stuarts Draft, Virginia

Figure
 5-9



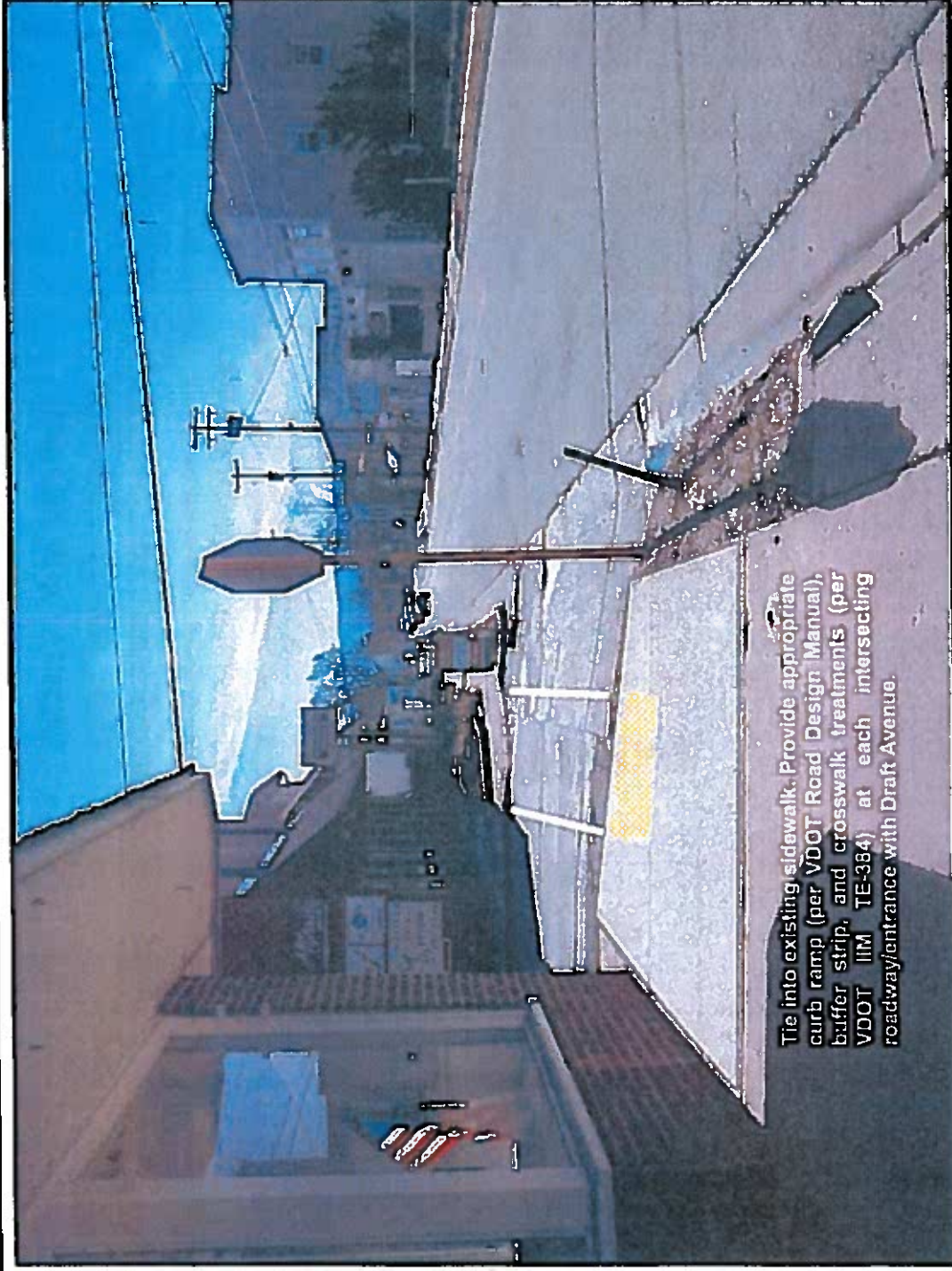
Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia



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Figure
5-10



Tie into existing sidewalk. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IM TE-384) at each intersecting roadway/entrance with Draft Avenue.

Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-11



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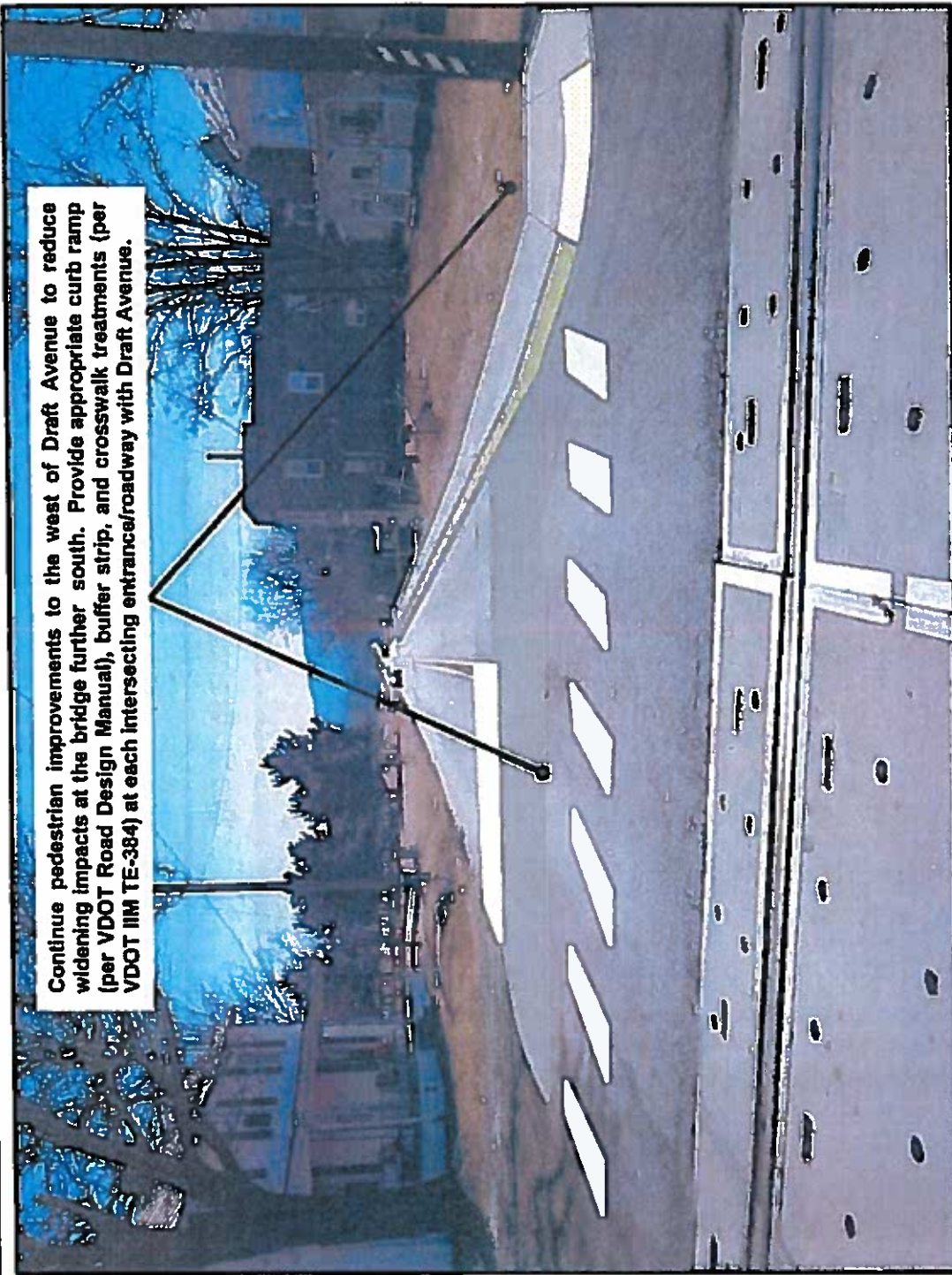


Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Draft Avenue Corridor
 Stuarts Draft, Virginia

Figure
 5-12

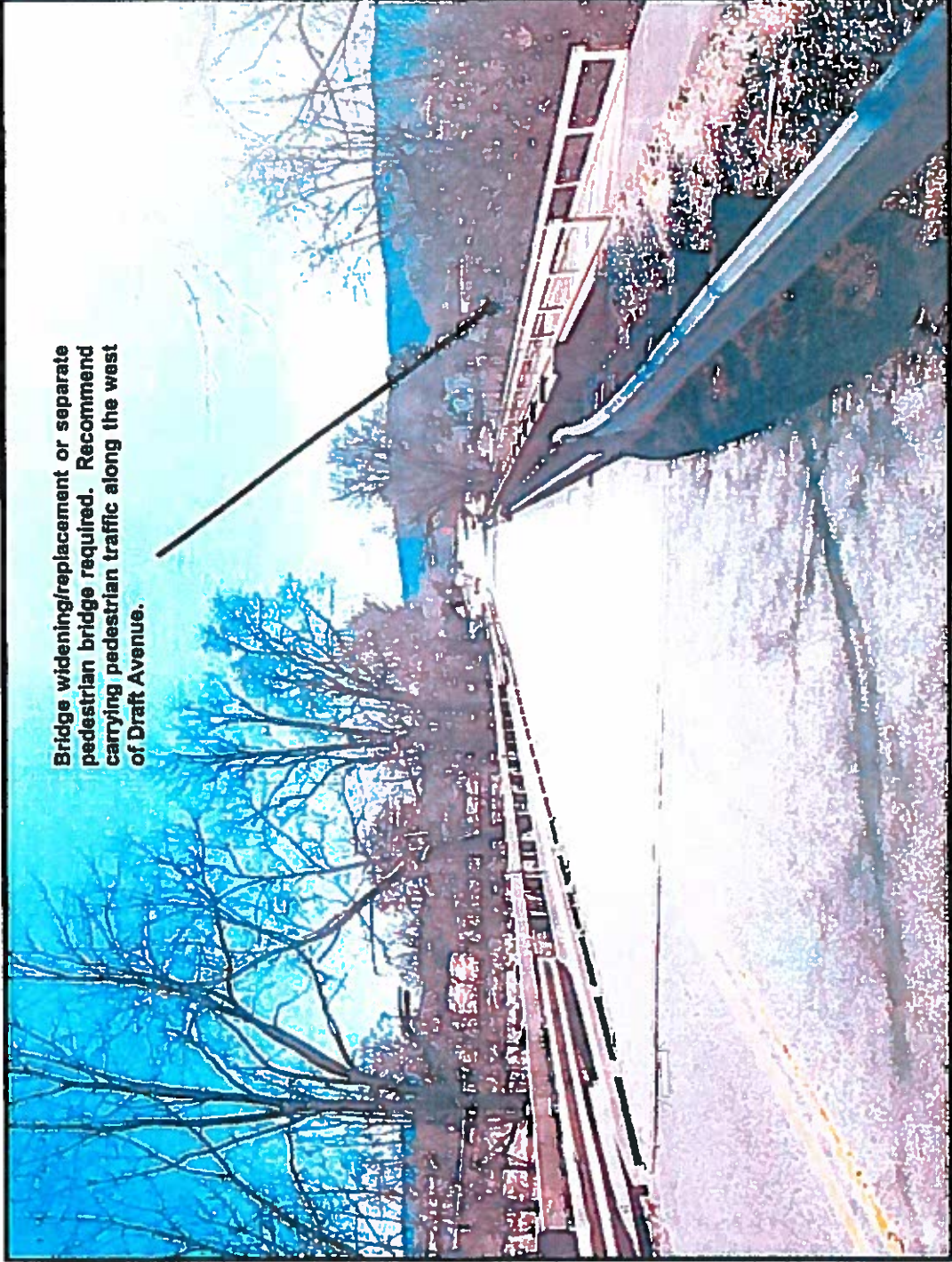
Continue pedestrian improvements to the west of Draft Avenue to reduce widening impacts at the bridge further south. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IM TE-384) at each intersecting entrance/roadway with Draft Avenue.



Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-13



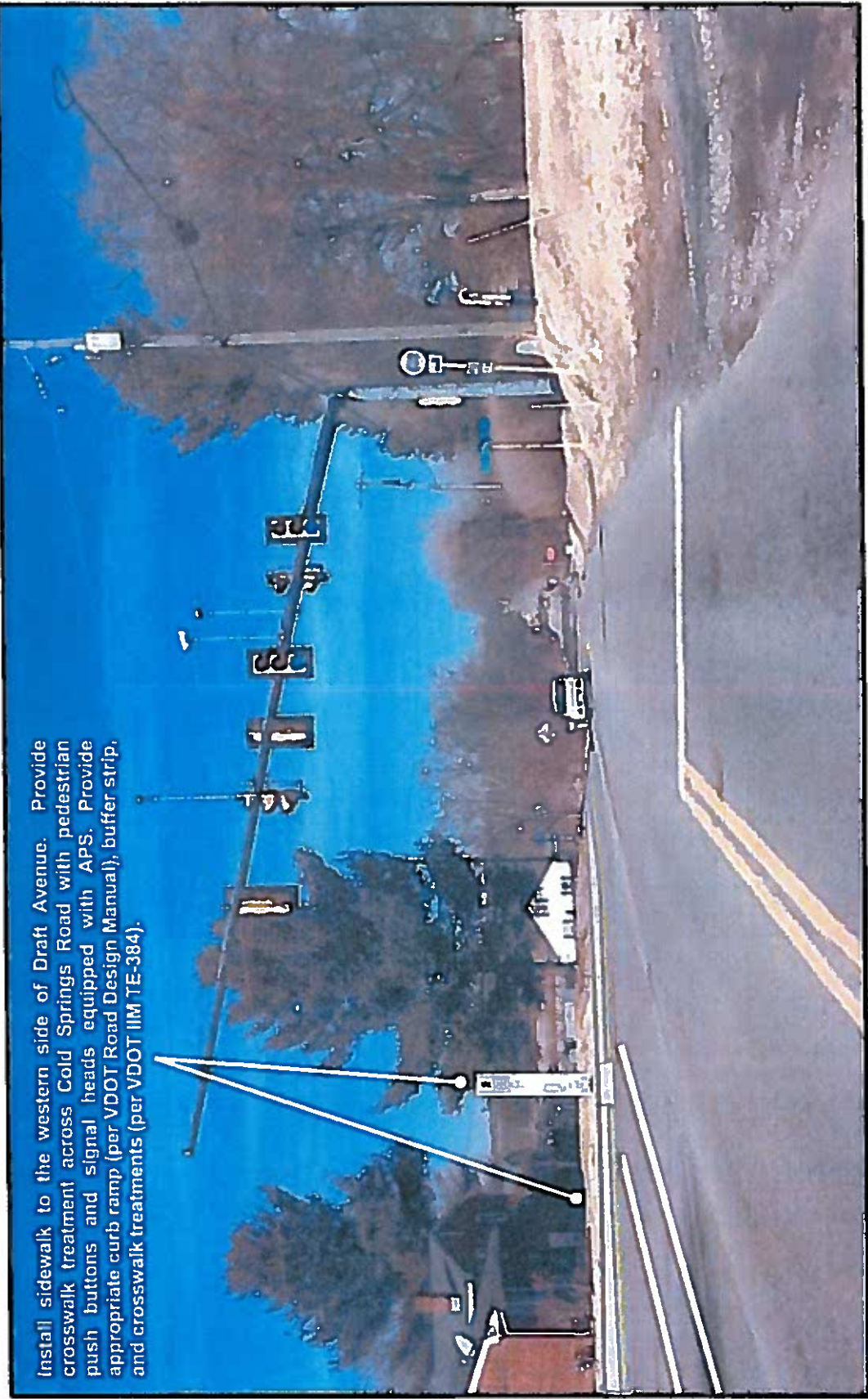
Bridge widening/replacement or separate pedestrian bridge required. Recommend carrying pedestrian traffic along the west of Draft Avenue.

Draft Avenue - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-14

Install sidewalk to the western side of Draft Avenue. Provide crosswalk treatment across Cold Springs Road with pedestrian push buttons and signal heads equipped with APS. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384).



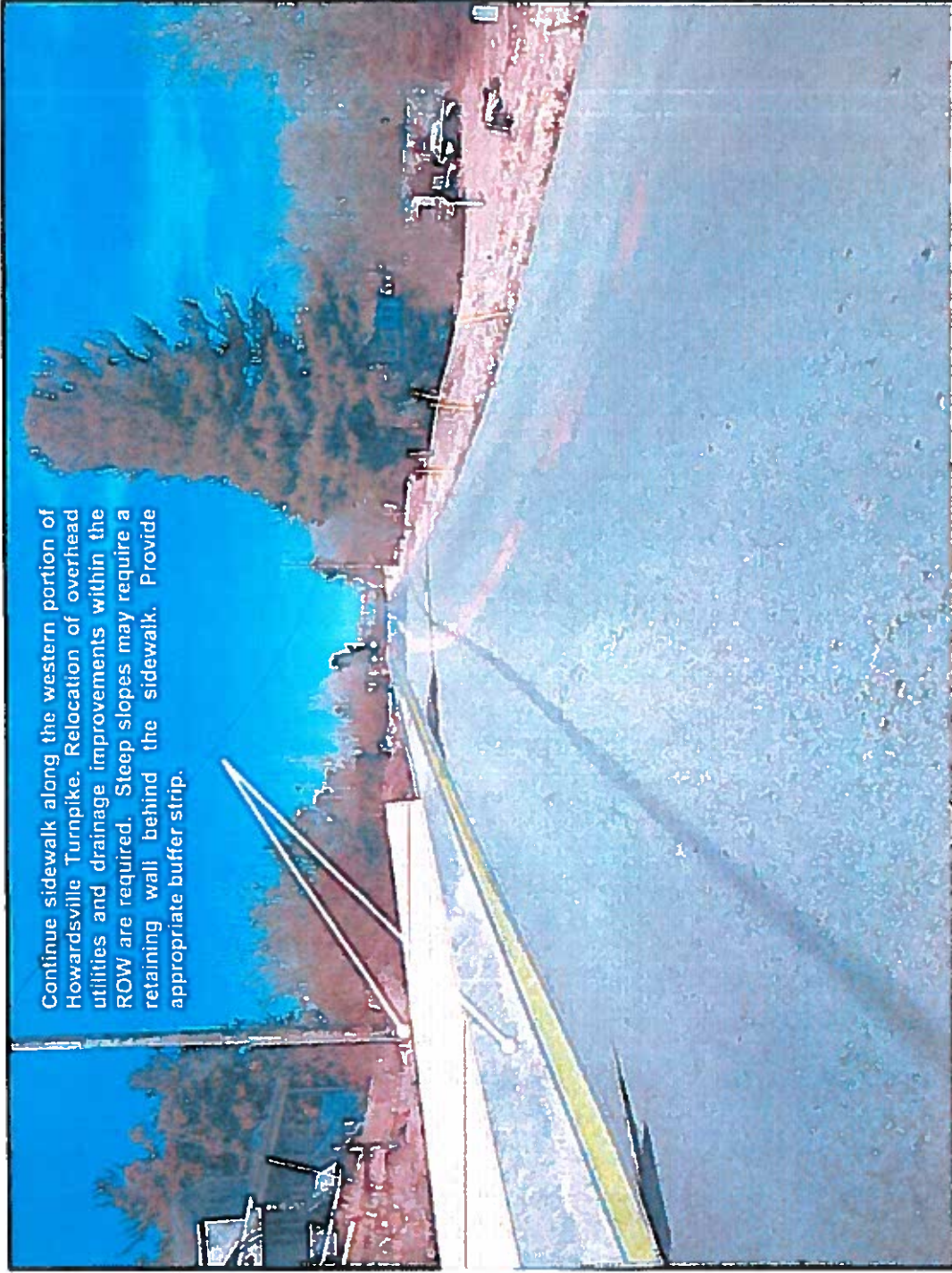
Draft Avenue - Northbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-15



Continue sidewalk along the western portion of Howardsville Turnpike. Relocation of overhead utilities and drainage improvements within the ROW are required. Steep slopes may require a retaining wall behind the sidewalk. Provide appropriate buffer strip.

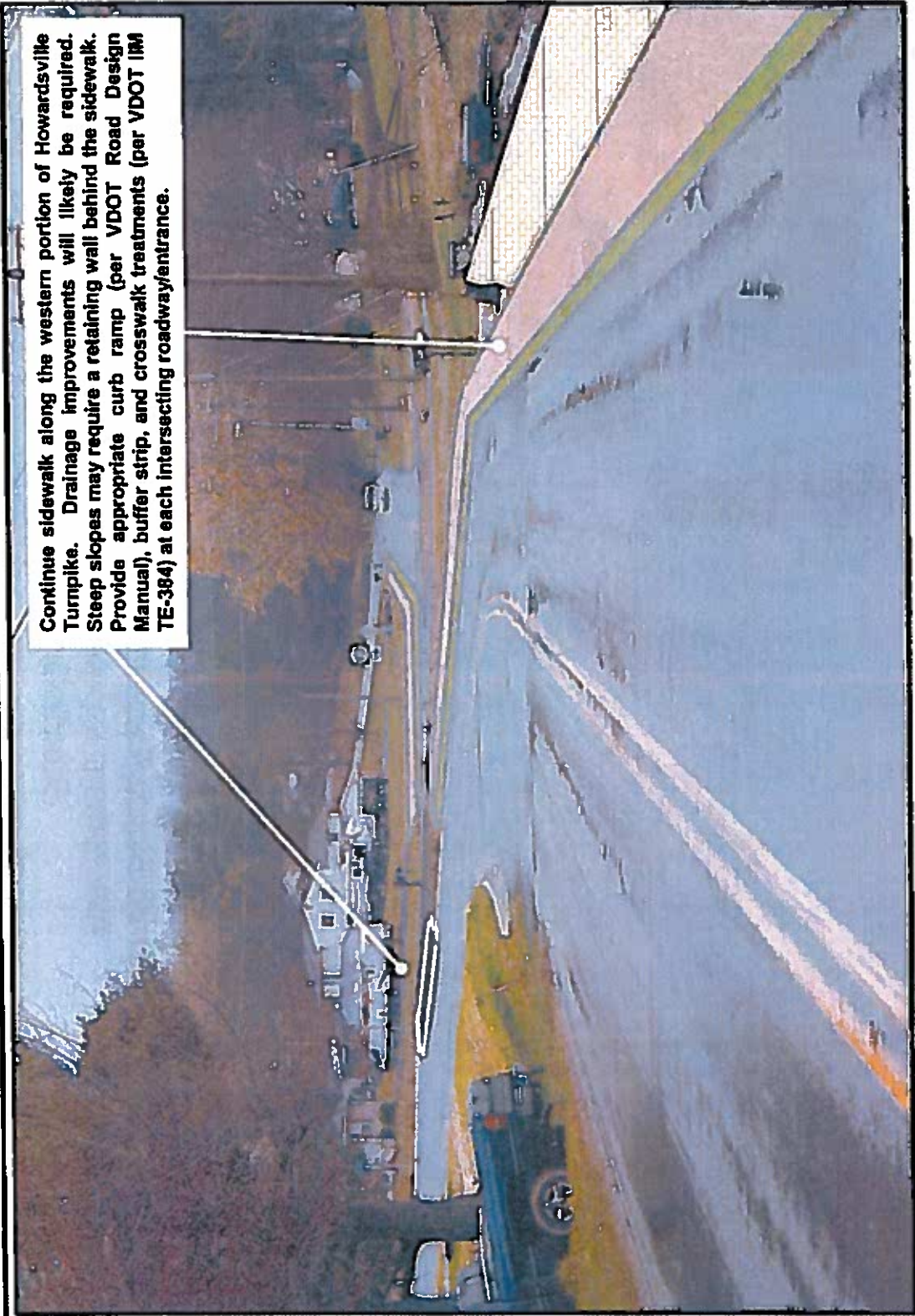


Howardsville Turnpike/Hodges Street - Northbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-16

Continue sidewalk along the western portion of Howardsville Turnpike. Drainage improvements will likely be required. Steep slopes may require a retaining wall behind the sidewalk. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IM TE-384) at each intersecting roadway/entrance.

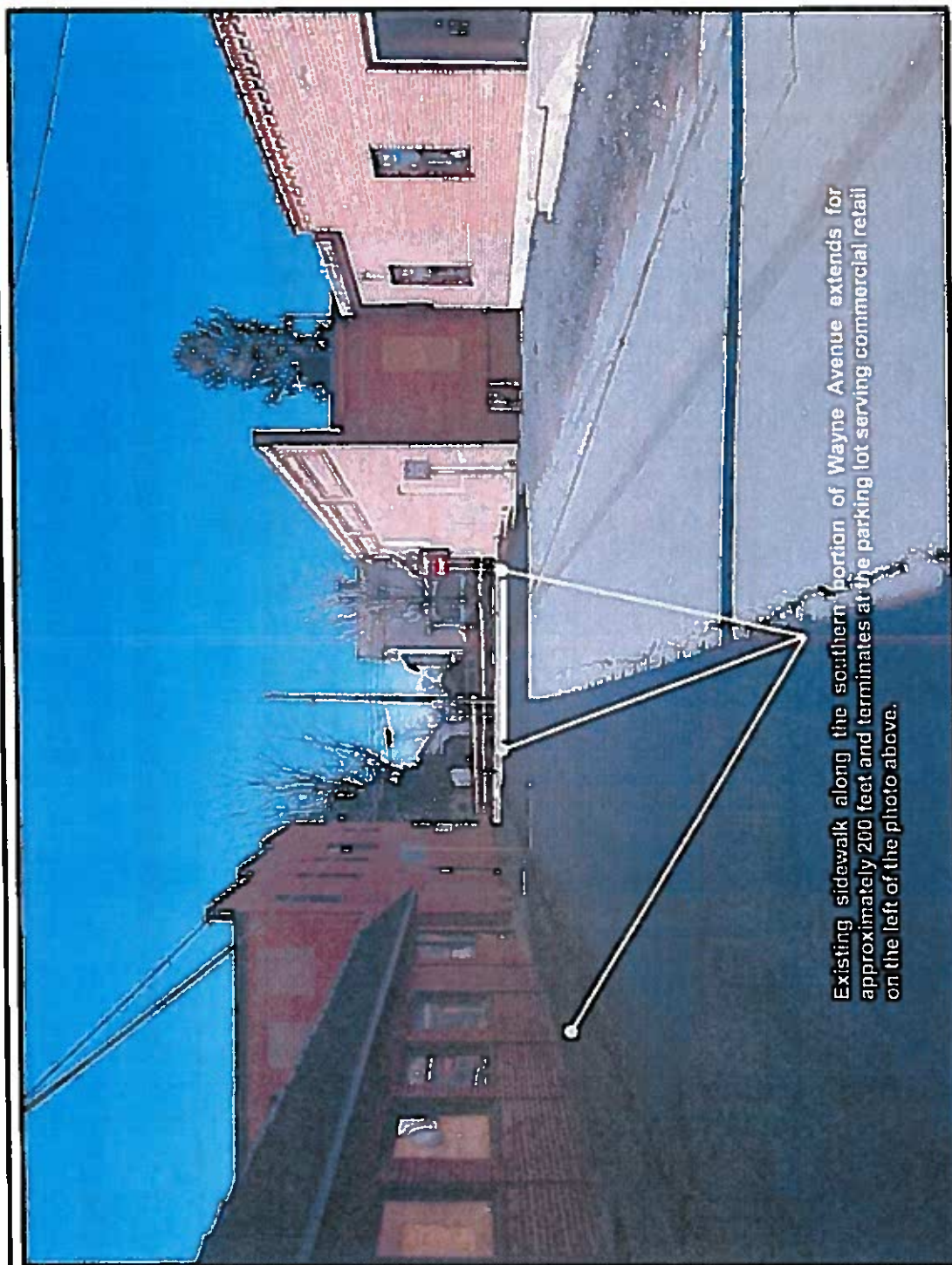


Howardsville Turnpike/Hodges Street - Southbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Draft Avenue Corridor
Stuarts Draft, Virginia

Figure
5-17

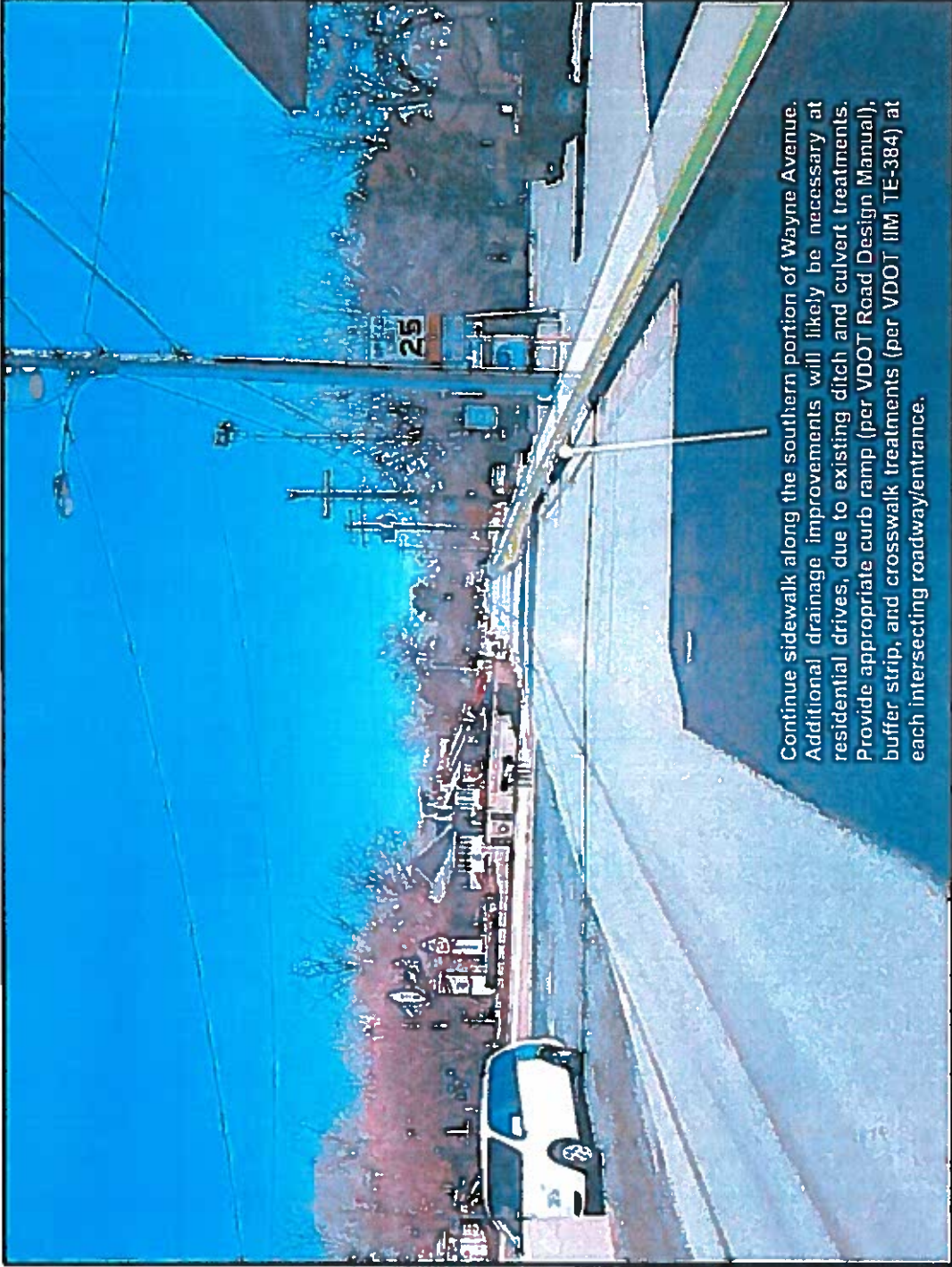




Wayne Avenue - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Wayne Avenue Corridor
Stuarts Draft, Virginia

Figure
6-2



Continue sidewalk along the southern portion of Wayne Avenue. Additional drainage improvements will likely be necessary at residential drives, due to existing ditch and culvert treatments. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance.

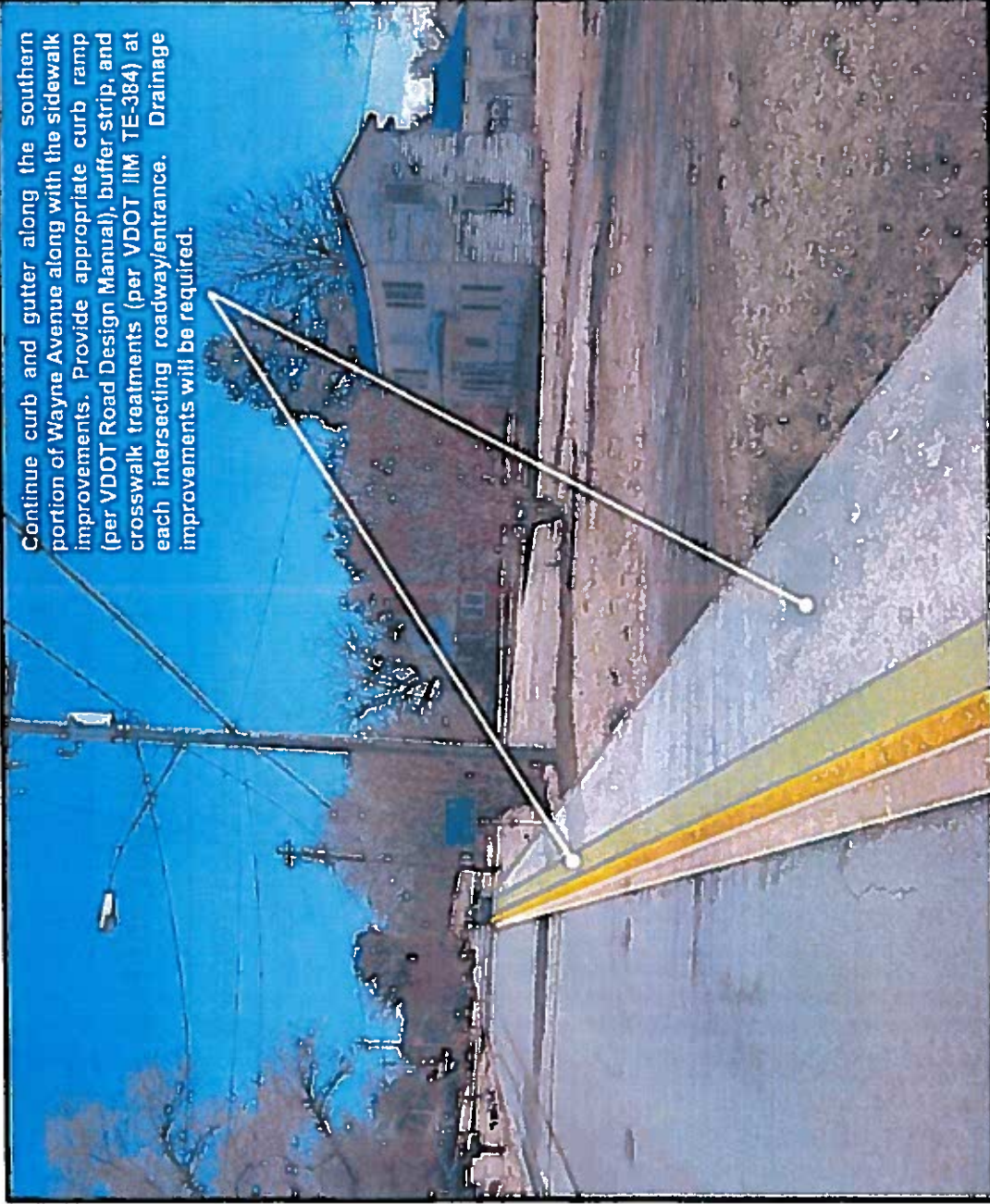
Wayne Avenue - Eastbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Wayne Avenue Corridor
Stuarts Draft, Virginia

Figure
6-3



Continue curb and gutter along the southern portion of Wayne Avenue along with the sidewalk improvements. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance. Drainage improvements will be required.

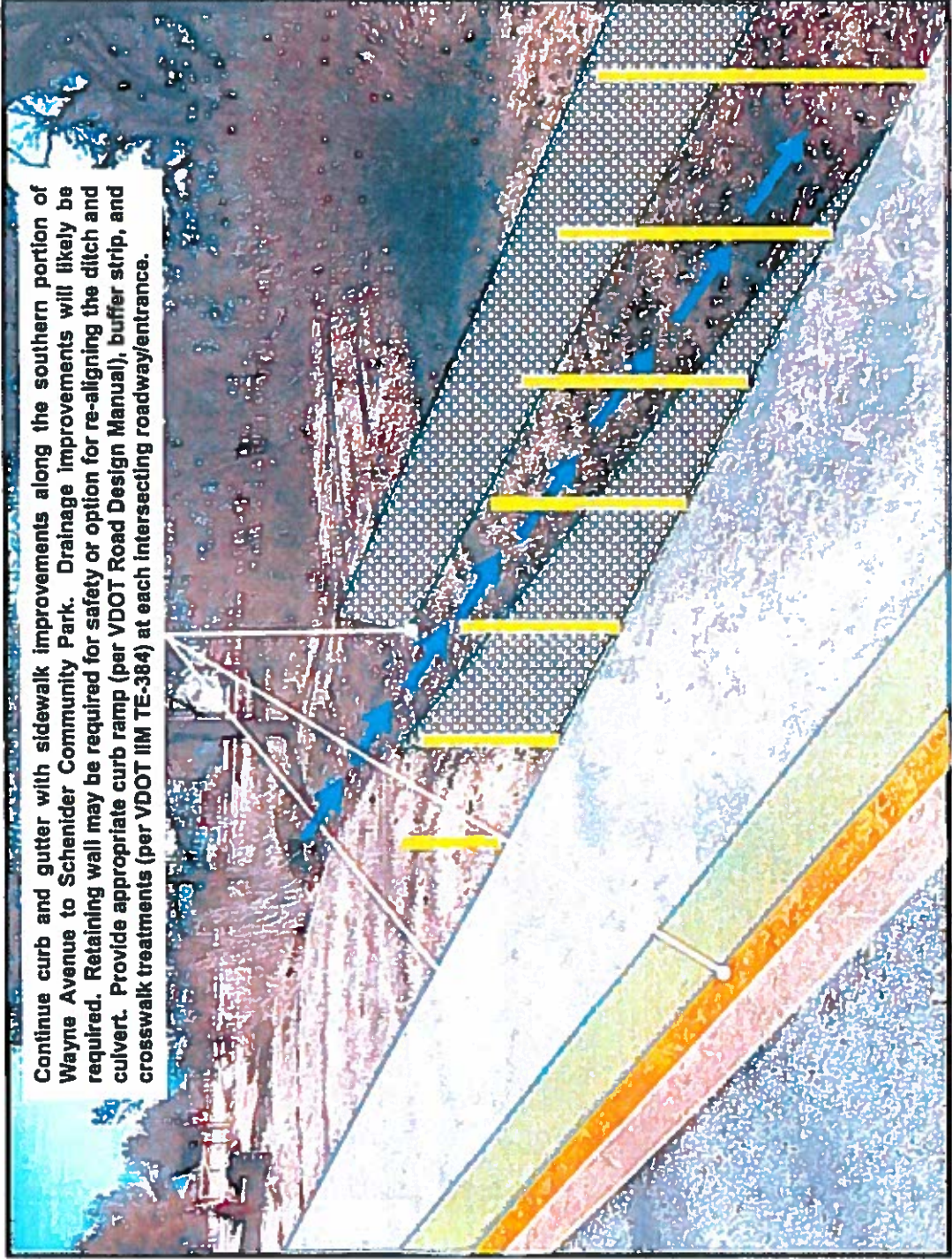


Wayne Avenue - Eastbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Wayne Avenue Corridor
Stuarts Draft, Virginia

Figure
6-4

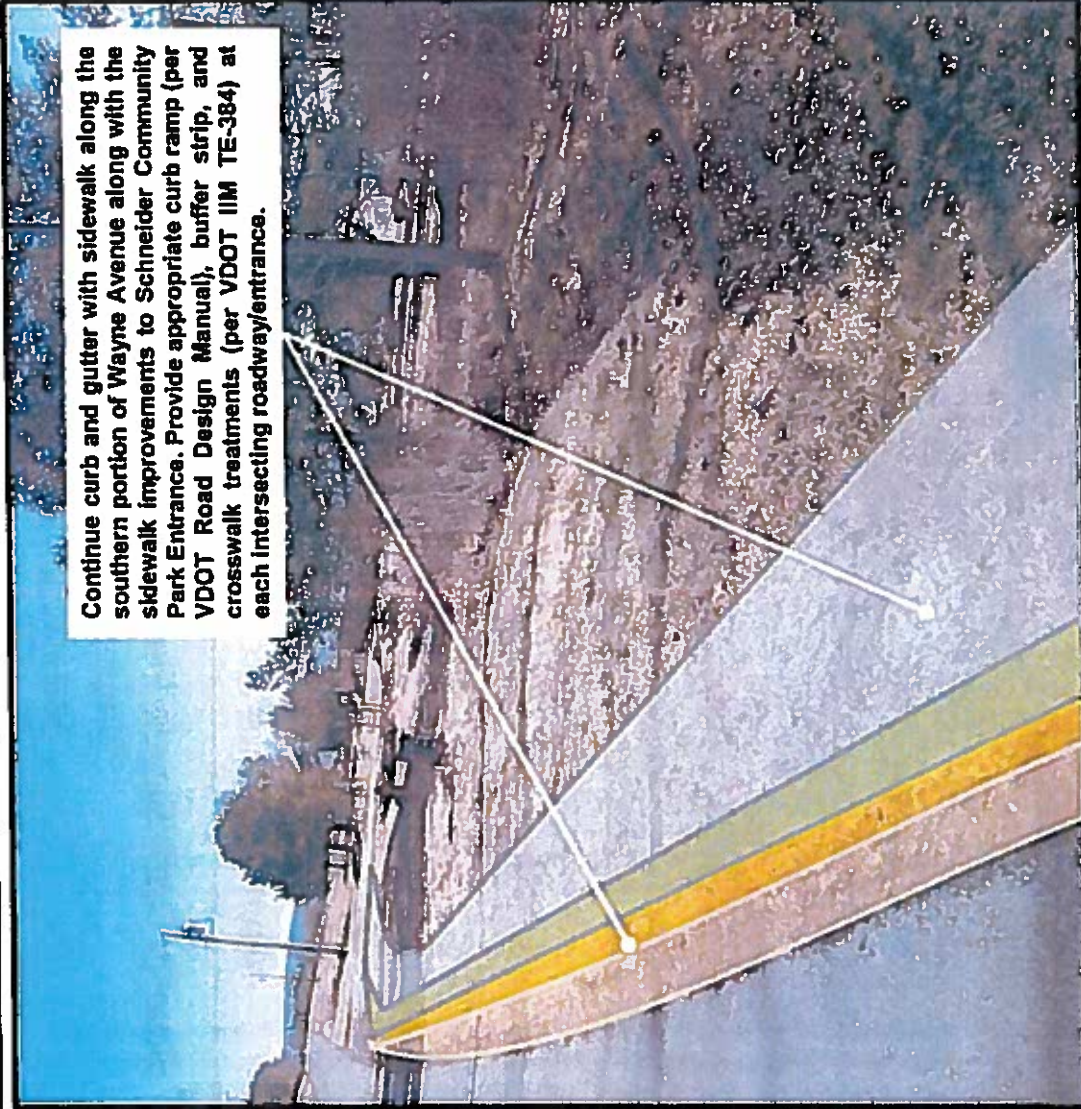
Continue curb and gutter with sidewalk improvements along the southern portion of Wayne Avenue to Schneider Community Park. Drainage improvements will likely be required. Retaining wall may be required for safety or option for re-aligning the ditch and culvert. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance.



Wayne Avenue – Eastbound (Schneider Community Park)

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Wayne Avenue Corridor
 Stuarts Draft, Virginia

Figure
 6-5



Continue curb and gutter with sidewalk along the southern portion of Wayne Avenue along with the sidewalk improvements to Schneider Community Park Entrance. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance.

Wayne Avenue @ Schneider Community Park - Eastbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
 Wayne Avenue Corridor
 Stuarts Draft, Virginia

Figure
 6-6

Continue sidewalk along the southern portion of Wayne Avenue for approximately 530 feet east of Crestview Drive to the Schneider Community Park parcel limits. Install a sidewalk connection on Crestview Drive with a crosswalk option across Wayne Avenue. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384).



Wayne Avenue & Crestview Drive - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Wayne Avenue Corridor
Stuarts Draft, Virginia

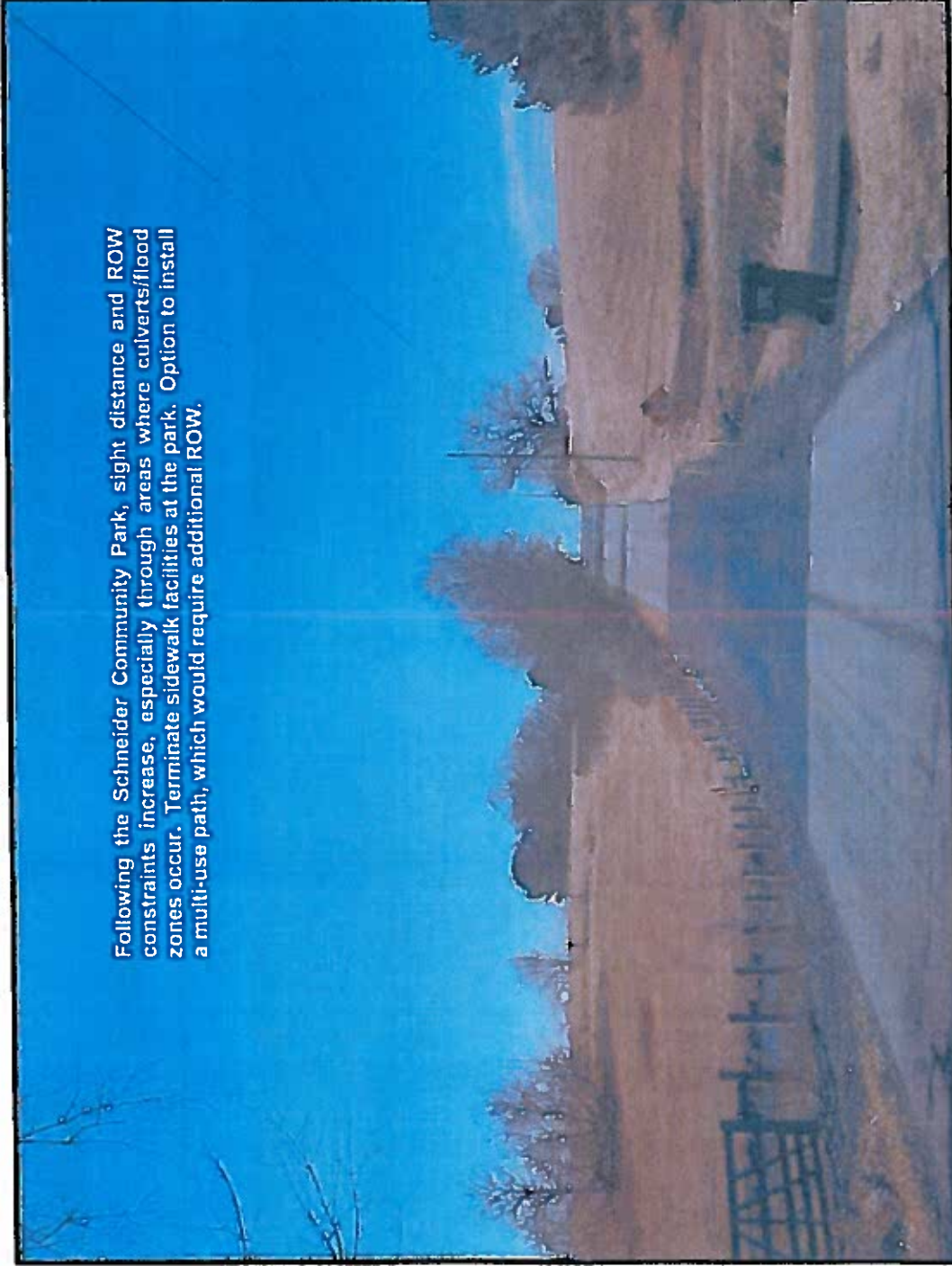


TIMMONS GROUP
YOUR VISION. ACHIEVED THROUGH OURS.

Figure

6-7

Following the Schneider Community Park, sight distance and ROW constraints increase, especially through areas where culverts/flood zones occur. Terminate sidewalk facilities at the park. Option to install a multi-use path, which would require additional ROW.



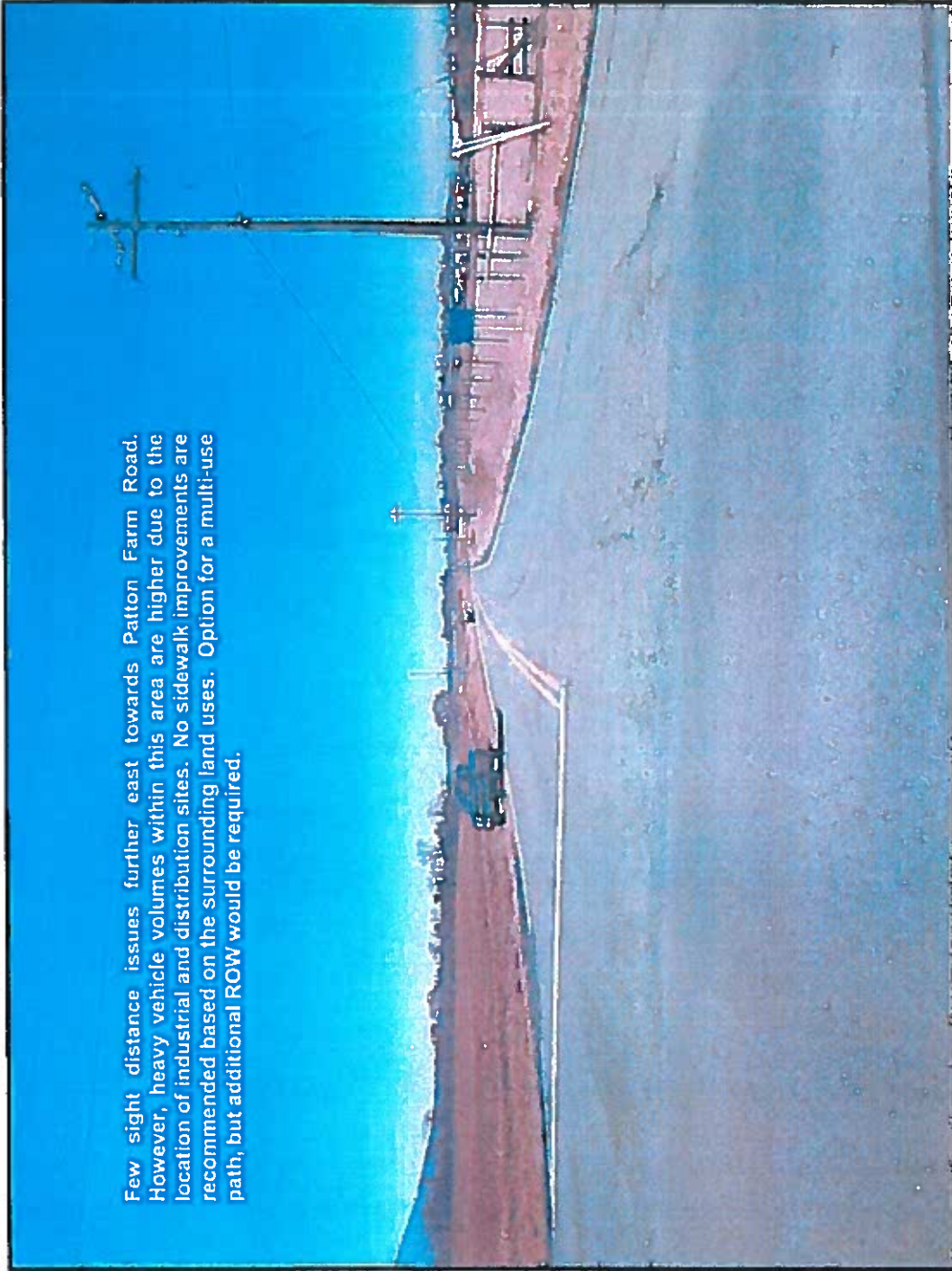
Wayne Avenue - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Wayne Avenue Corridor
Stuarts Draft, Virginia

Figure

6-8

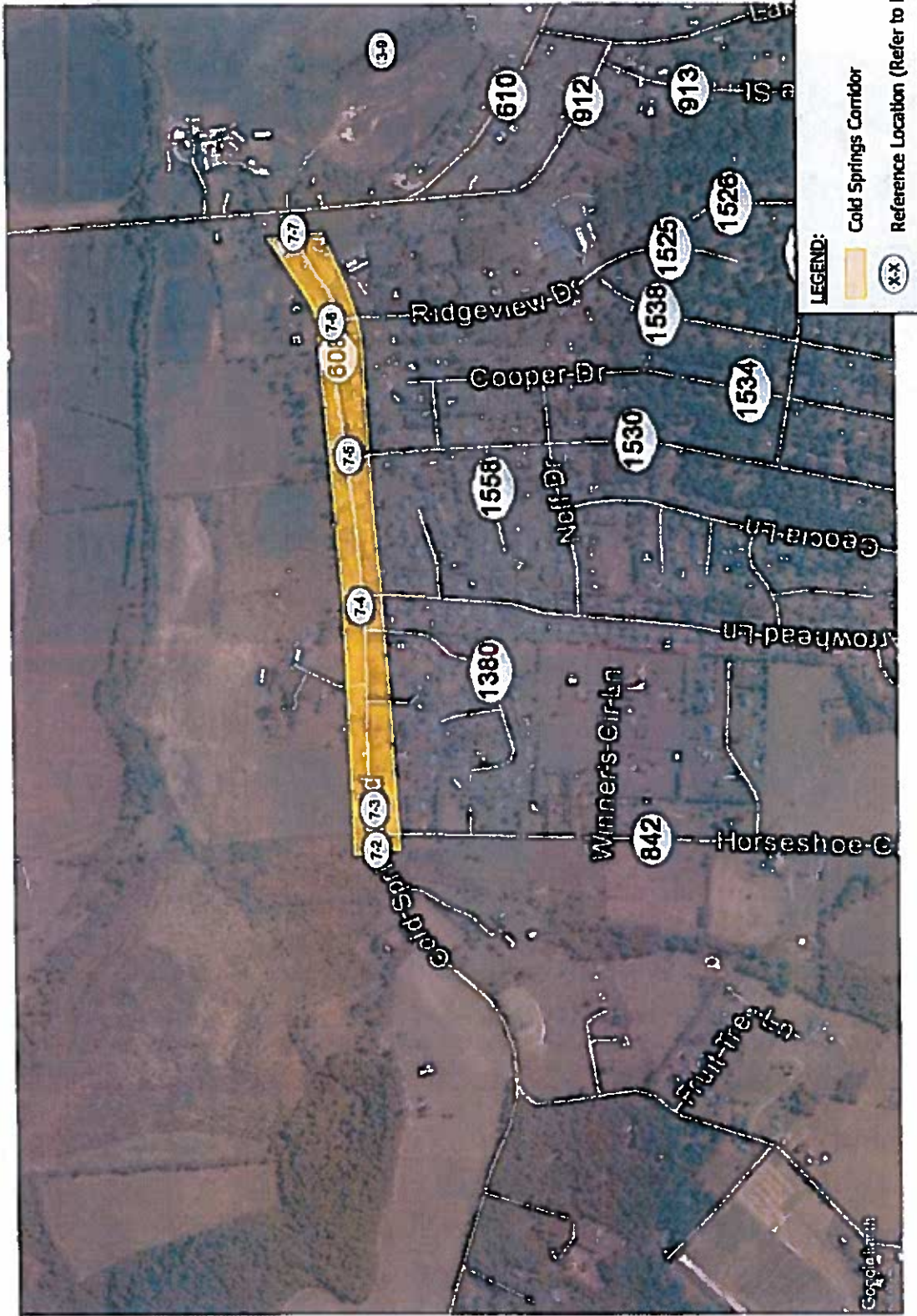
Few sight distance issues further east towards Patton Farm Road. However, heavy vehicle volumes within this area are higher due to the location of industrial and distribution sites. No sidewalk improvements are recommended based on the surrounding land uses. Option for a multi-use path, but additional ROW would be required.



Wayne Avenue & Patton Farm Road - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Wayne Avenue Corridor
Stuarts Draft, Virginia

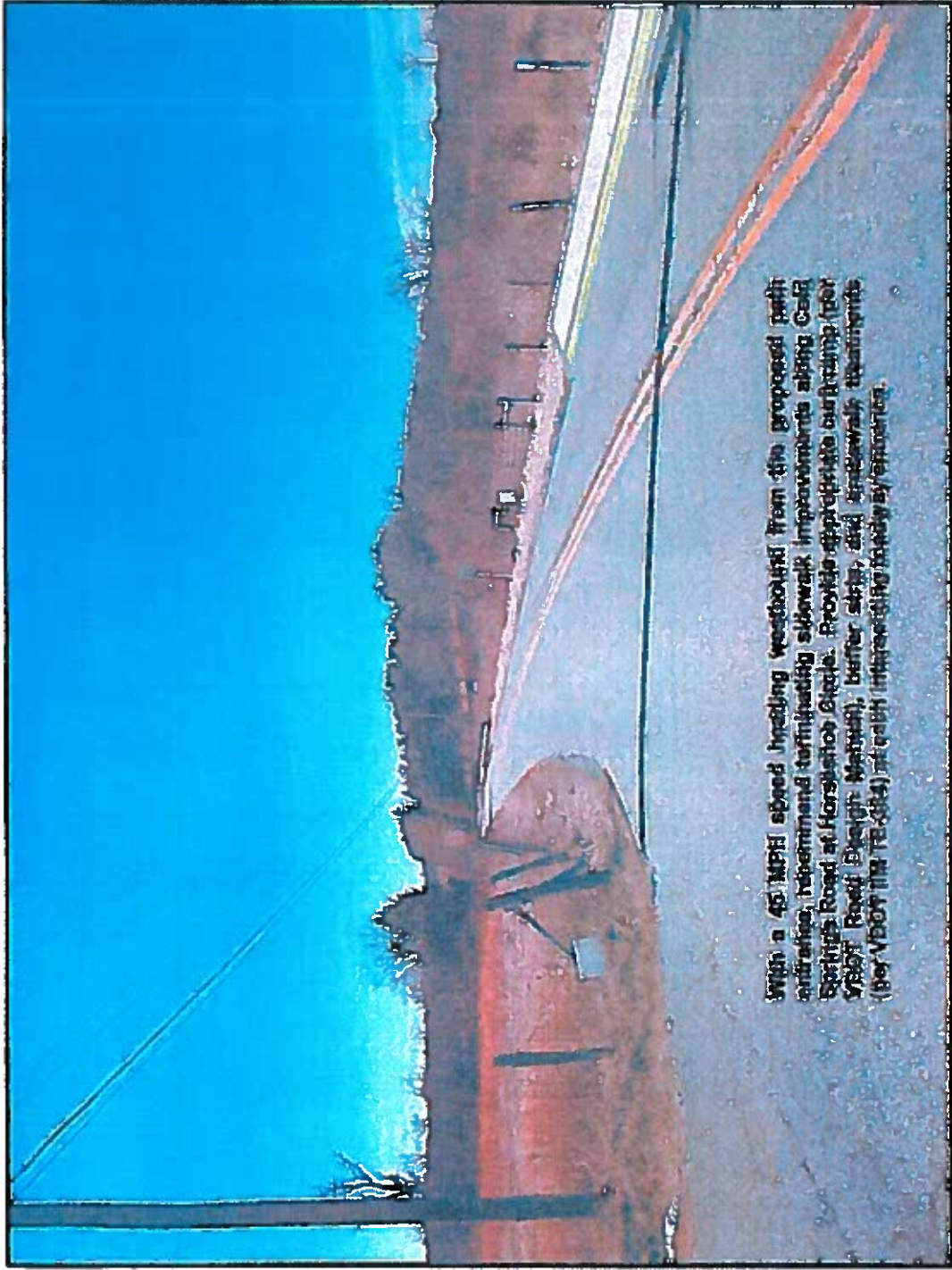
Figure
6-9



NOT TO SCALE

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Assessment Locations – Cold Springs Road
Stuarts Draft, Virginia

Figure
7-1



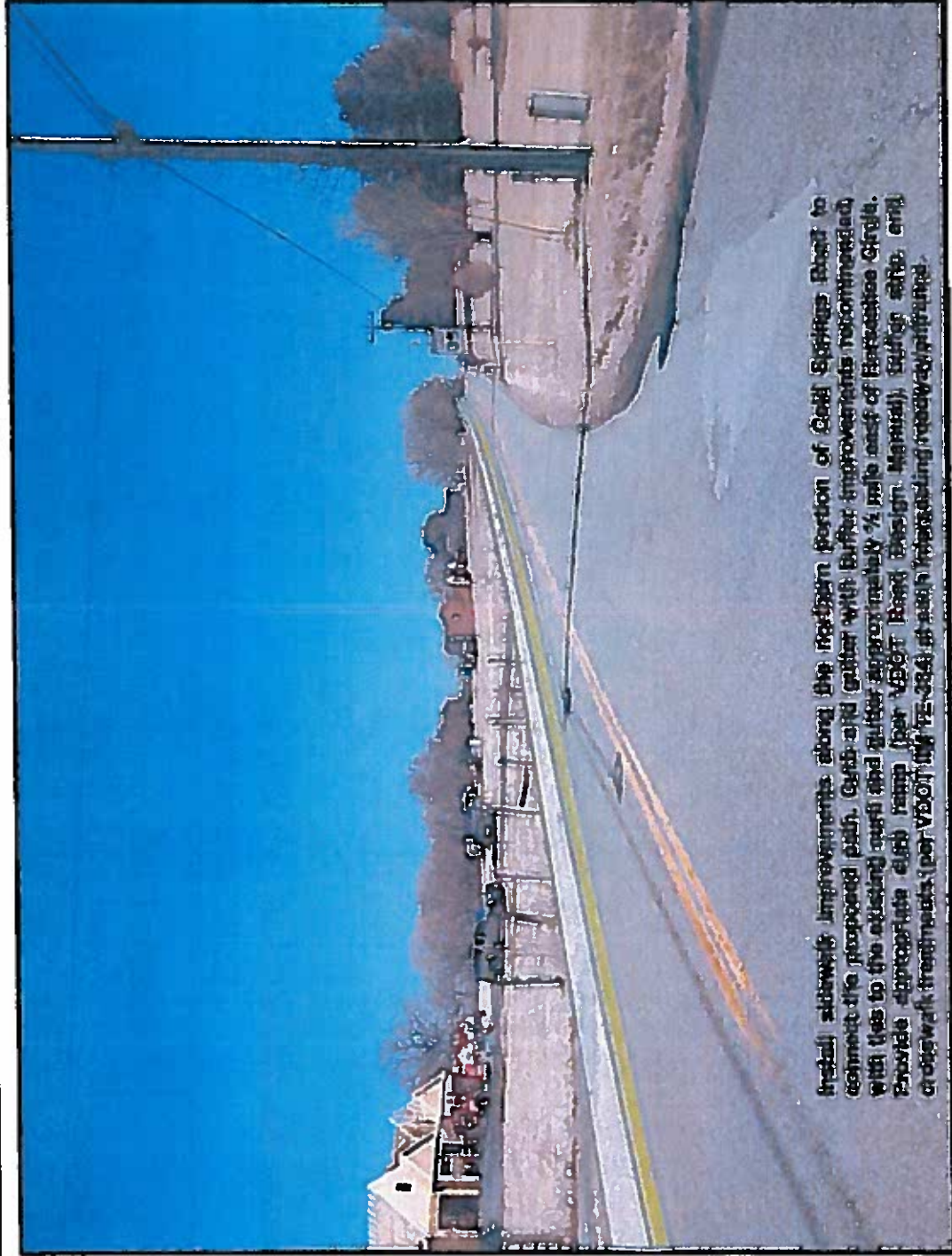
With a 45 MPH speed limit, westbound from the proposed path entrance, implement terminating sidewalk improvements along Cold Springs Road at Horseshoe Circle. Provide appropriate curbside (per VDOT Right of Way Manual), barrier strip, and sidewalk treatments (per VDOT TRB 314) at each intersecting roadway/approach.

Cold Springs Road & Horseshoe Circle - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Cold Springs Road Corridor
Stuarts Draft, Virginia

Figure
7-2

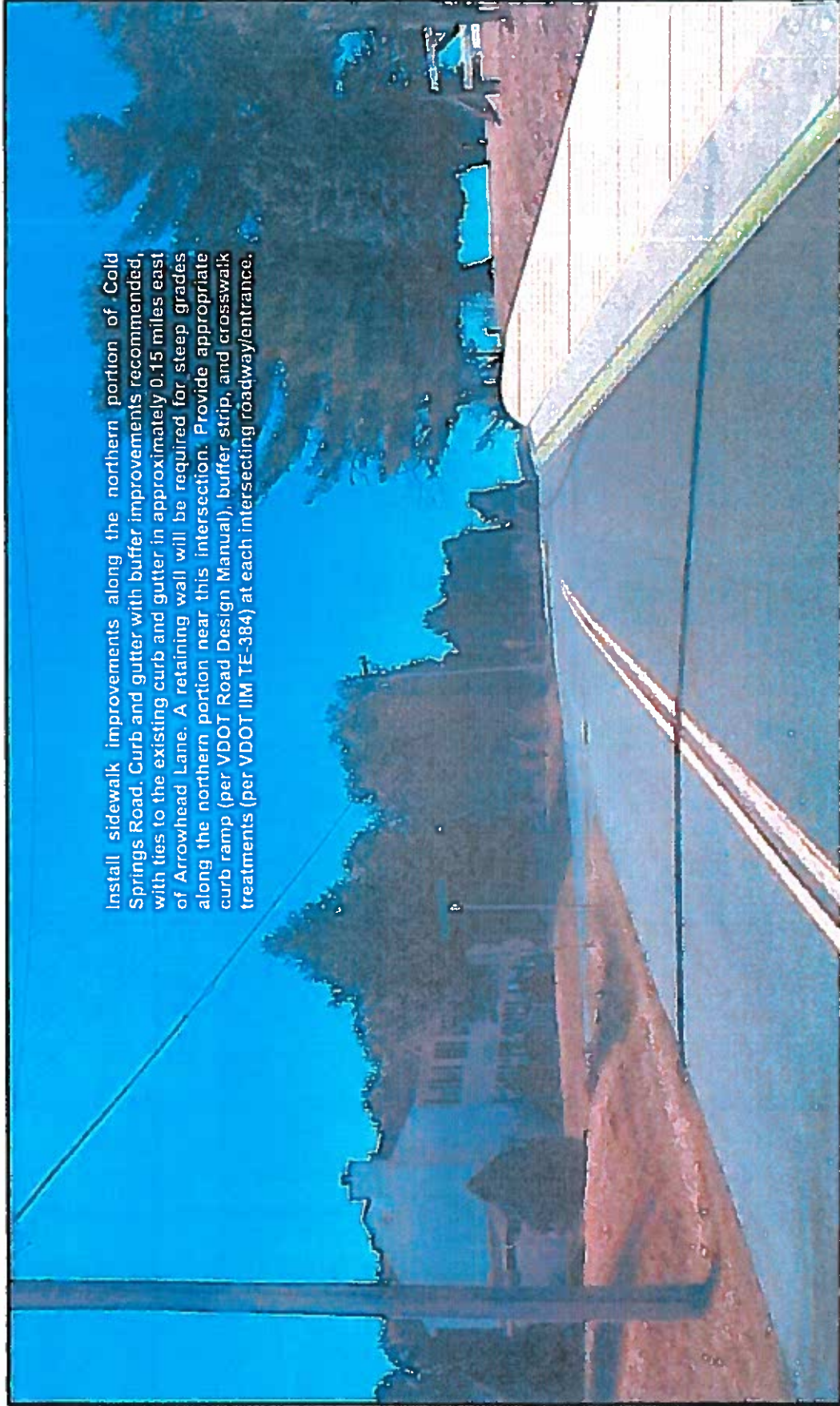




Cold Springs Road & Horseshoe Circle - Eastbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Cold Springs Road Corridor
Stuarts Draft, Virginia

Figure
 7-3



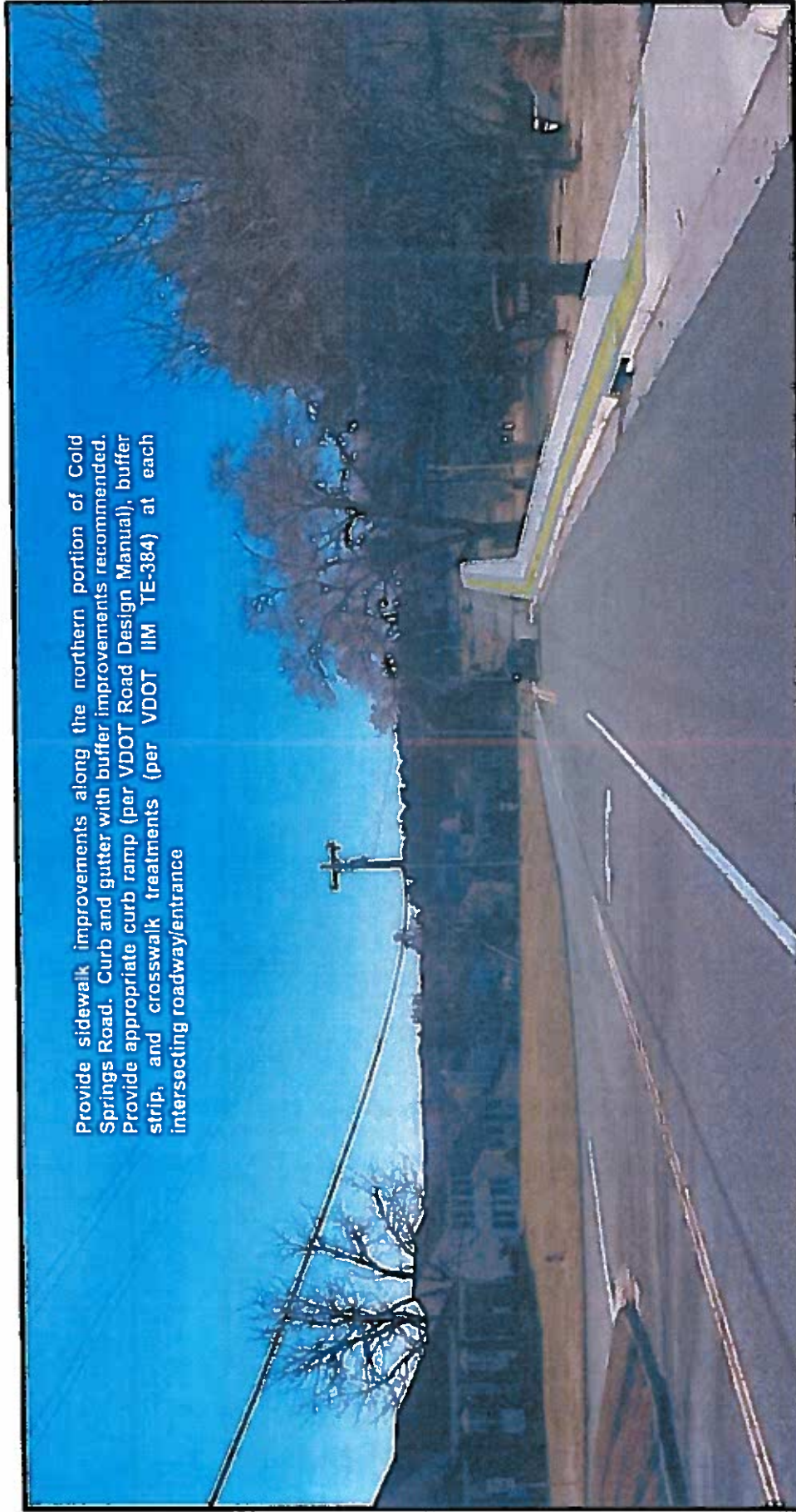
Install sidewalk improvements along the northern portion of Cold Springs Road. Curb and gutter with buffer improvements recommended, with ties to the existing curb and gutter in approximately 0.15 miles east of Arrowhead Lane. A retaining wall will be required for steep grades along the northern portion near this intersection. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance.

Cold Springs Road & Horseshoe Circle - Eastbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Cold Springs Road Corridor
Stuarts Draft, Virginia

Figure
7-4

Provide sidewalk improvements along the northern portion of Cold Springs Road. Curb and gutter with buffer improvements recommended. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance

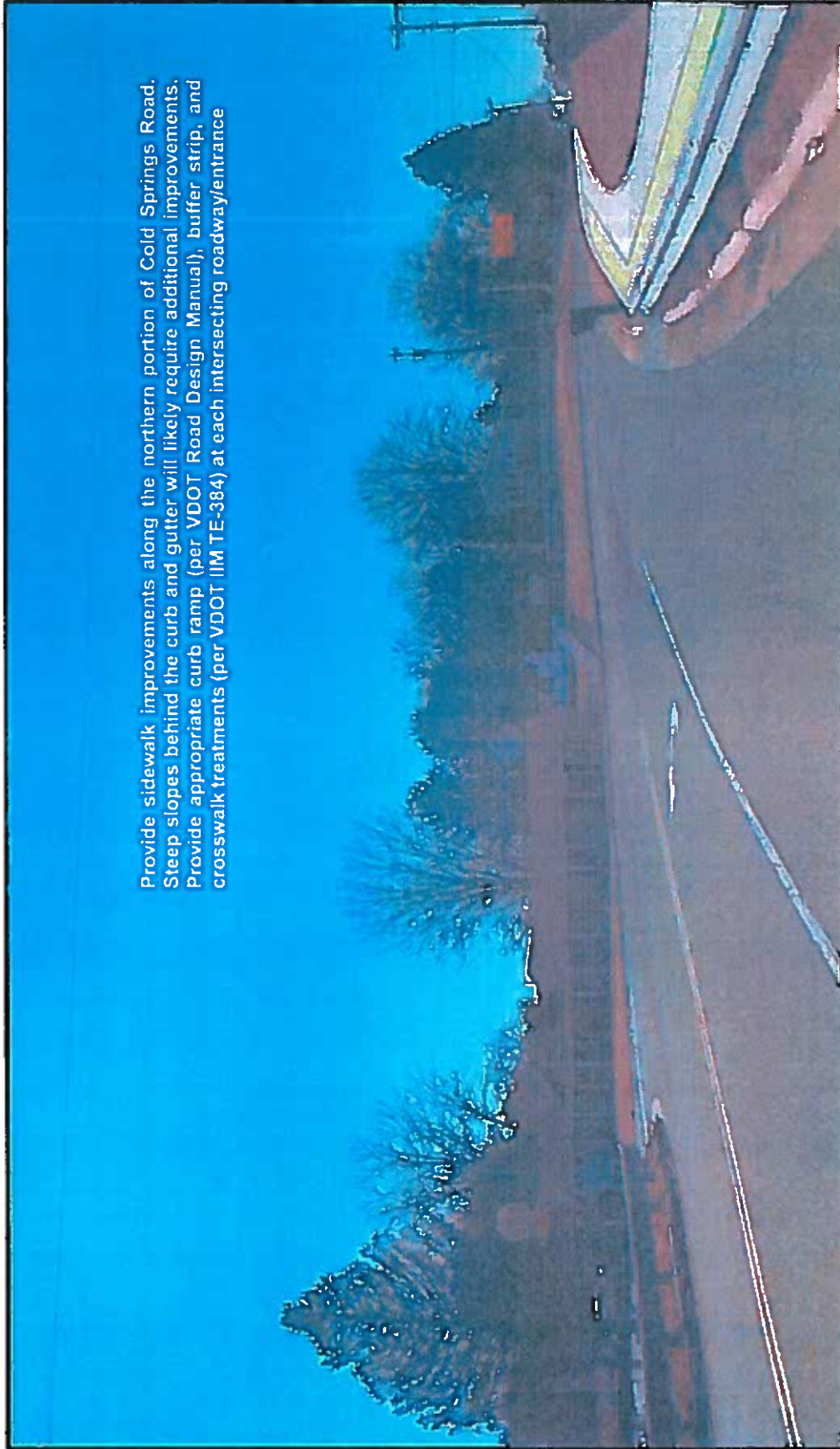


Cold Springs Road & Forest Springs Drive - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Cold Springs Road Corridor
Stuarts Draft, Virginia

Figure
7-5

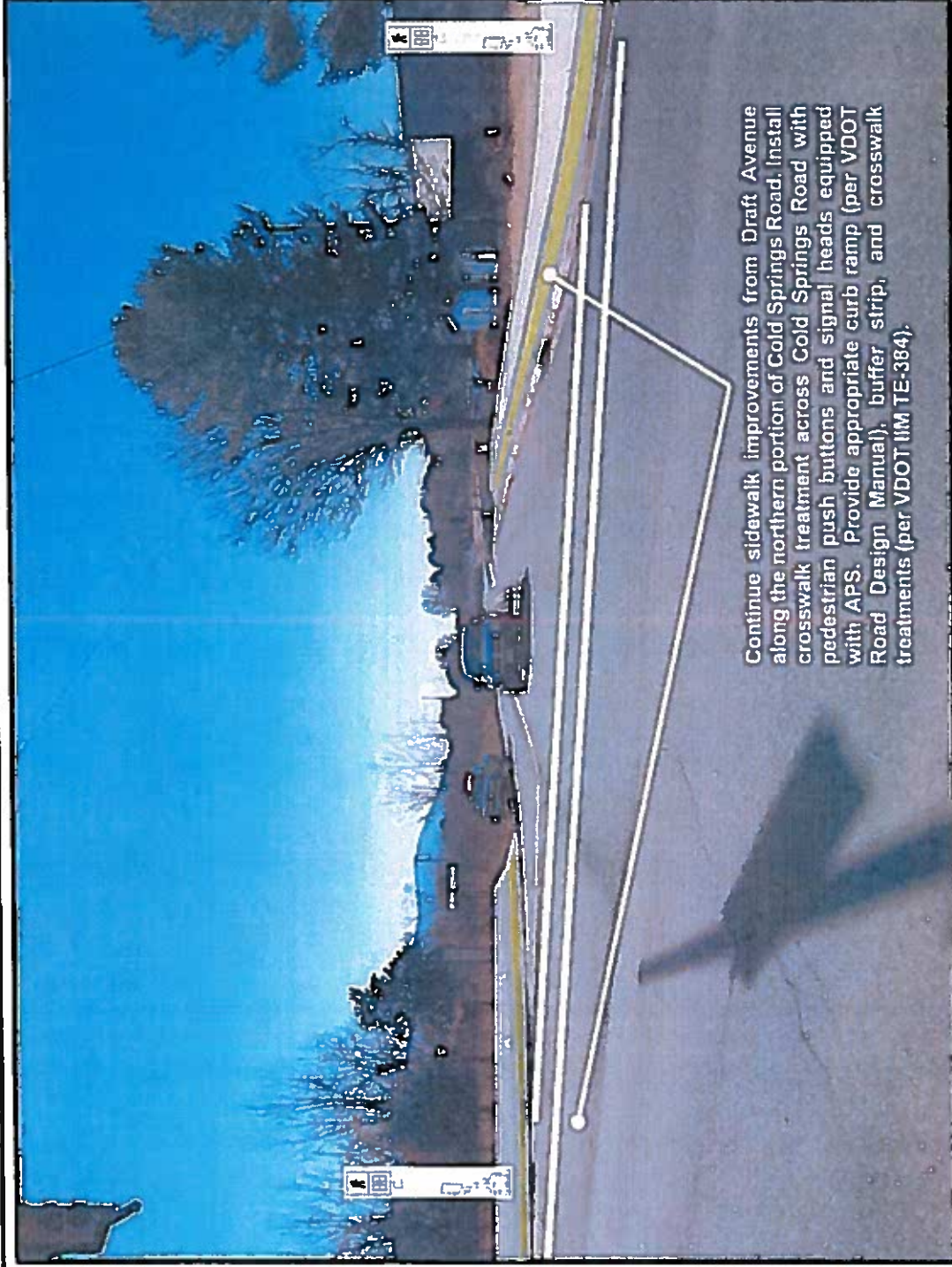
Provide sidewalk improvements along the northern portion of Cold Springs Road. Steep slopes behind the curb and gutter will likely require additional improvements. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384) at each intersecting roadway/entrance



Cold Springs Road & Ridgeview Drive - Westbound

Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Cold Springs Road Corridor
Stuarts Draft, Virginia

Figure
7-6



Continue sidewalk improvements from Draft Avenue along the northern portion of Cold Springs Road. Install crosswalk treatment across Cold Springs Road with pedestrian push buttons and signal heads equipped with APS. Provide appropriate curb ramp (per VDOT Road Design Manual), buffer strip, and crosswalk treatments (per VDOT IIM TE-384).

Cold Springs Road & Draft Avenue/Howardsville Turnpike - Westbound

**Stuarts Draft Bicycle/Pedestrian Infrastructure Assessment
Cold Springs Road Corridor
Stuarts Draft, Virginia**

**Figure
7-7**

September 13, 2019

Bicycle & Pedestrian Infrastructure Assessment – Stuarts Draft

Appendix A FEMA Floodplain Mapping

September 13, 2019

Bicycle & Pedestrian Infrastructure Assessment – Stuarts Draft

Appendix B

Traffic Counts

Site Code: 2
 Station ID:
 Falton Farm Road
 Just north of South River bridge
 Latitude: 0' 0 0000 Undefined

NB	Class 1	Class 2	Class 3	Class 4	Class 5	Class 6	Class 7	Class 8	Class 9	Class 10	Class 11	Class 12	Class 13	Not Classed	Total
Start Time															
02/07/18	0	2	0	0	0	1	0	0	0	0	0	0	0	0	3
01:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	0	2	1	0	0	0	0	0	0	0	0	0	0	0	3
03:00	0	9	3	0	0	0	0	0	0	0	0	0	0	0	12
04:00	0	15	6	0	0	0	0	0	0	0	0	0	0	0	21
05:00	0	32	13	0	0	0	0	0	1	0	0	0	0	0	46
06:00	0	48	10	0	0	0	0	0	0	0	0	0	0	0	58
07:00	0	68	20	0	0	1	0	0	0	0	0	0	0	0	89
08:00	0	67	10	0	0	1	0	0	0	0	0	0	0	0	78
09:00	0	41	12	0	0	0	0	0	0	0	0	0	0	2	55
10:00	0	39	1	1	0	0	0	0	0	0	0	0	0	4	45
11:00	0	29	8	0	0	0	0	0	0	0	0	0	0	0	37
12 PM	0	44	6	0	0	1	0	0	0	0	0	0	0	0	51
13:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
14:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
15:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
16:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
17:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
18:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
19:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
20:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
21:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
22:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
23:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
Total	0	396	90	1	0	4	0	0	1	0	0	0	0	6	498
Percent	0.0%	79.5%	18.1%	0.2%	0.0%	0.8%	0.0%	0.0%	0.2%	0.0%	0.0%	0.0%	0.0%	1.2%	
AM Peak		07:00	07:00	10:00		00:00			05:00					10:00	07:00
Vol		88	20	1		1			1					4	89
PM Peak		12:00	12:00			12:00									12:00
Vol		44	6			1									51
Grand Total	0	650	171	5	3	5	0	0	1	0	0	0	0	11	1046
Percent	0.0%	61.3%	16.3%	0.5%	0.3%	0.5%	0.0%	0.0%	0.1%	0.0%	0.0%	0.0%	0.0%	1.1%	

Data Collection Group
 LSmith@DataCollectionGroup.net

Site Code: 1
 Station ID:
 Draft Ave
 just north of South River bridge
 Latitude: 0' 0.0000 Undefined

SB

Start Time	Class 1	Class 2	Class 3	Class 4	Class 5	Class 6	Class 7	Class 8	Class 9	Class 10	Class 11	Class 12	Class 13	Not Classe	Total
02/06/18	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
01:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
02:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
03:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
04:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
05:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
06:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
07:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
08:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
09:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
10:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
11:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
12 PM	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
13:00	0	165	39	0	0	5	0	0	0	0	0	0	0	6	215
14:00	0	184	54	1	1	0	0	0	1	0	0	0	0	4	245
15:00	1	338	101	8	3	2	0	0	0	0	0	0	0	16	489
16:00	1	363	87	3	0	0	0	0	0	0	0	0	0	16	480
17:00	0	423	105	1	1	0	0	0	0	0	0	0	0	14	544
18:00	0	295	64	0	0	0	0	0	0	0	0	0	0	15	374
19:00	0	217	41	0	0	0	0	0	0	0	0	0	0	4	262
20:00	0	201	35	0	0	0	0	0	0	0	0	0	0	1	237
21:00	0	129	18	0	0	0	0	0	0	0	0	0	0	0	147
22:00	0	65	7	0	0	0	0	0	0	0	0	0	0	0	72
23:00	0	54	15	0	0	0	0	0	0	0	0	0	0	0	69
Total	2	2434	576	13	5	7	0	0	1	0	0	0	0	76	3114
Percent	0.1%	76.2%	18.5%	0.4%	0.2%	0.2%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	2.4%	
AM Peak Vol.															
PM Peak Vol.	15:00	17:00	17:00	15:00	15:00	13:00			14:00					15:00	17:00
Vol.	1	423	105	8	3	5			1					16	544

Data Collection Group
 LSmith@DataCollectionGroup.net

Site Code: 1
 Station ID:
 Draft Ave
 just north of South River bridge
 Latitude: 0' 0.0000 Undefined

NB															
Start Time	Class 1	Class 2	Class 3	Class 4	Class 5	Class 6	Class 7	Class 8	Class 9	Class 10	Class 11	Class 12	Class 13	No. Classes	Total
02:00/1	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
01:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
02:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
03:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
04:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
05:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
06:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
07:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
08:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
09:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
10:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
11:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
12 PM	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
13:00	0	175	43	1	1	1	0	0	1	0	0	0	0	10	232
14:00	0	188	50	4	0	0	2	0	0	0	0	0	0	14	258
15:00	0	183	72	0	1	0	0	1	0	0	0	0	0	20	277
16:00	0	212	55	1	1	0	0	0	0	0	0	0	0	10	279
17:00	0	212	56	0	0	0	0	0	0	0	0	0	0	19	287
18:00	0	178	43	0	0	0	0	0	0	0	0	0	0	9	230
19:00	0	88	24	0	0	0	0	0	0	0	0	0	0	4	114
20:00	0	85	8	0	0	0	0	0	0	0	0	0	0	0	93
21:00	0	57	10	0	0	1	0	0	0	0	0	0	0	0	68
22:00	0	59	15	0	0	0	0	0	0	0	0	0	0	0	74
23:00	0	15	4	0	0	0	0	0	0	0	0	0	0	0	19
Total	0	1450	380	6	3	2	2	1	1	0	0	0	0	88	1931
Percent	0.0%	75.1%	19.7%	0.3%	0.2%	0.1%	0.1%	0.1%	0.1%	0.0%	0.0%	0.0%	0.0%	4.5%	
AM Peak Vol.															
PM Peak Vol.		18:00	15:00	14:00	13:00	13:00	14:00	15:00	13:00					15:00	17:00
		212	72	4	1	1	2	1	1					20	287

Site Code: 1
 Station ID:
 Draft Ave
 just north of South River bridge
 Latitude: 0' 0.0000 Undefined

NB	Class 1	Class 2	Class 3	Class 4	Class 5	Class 6	Class 7	Class 8	Class 9	Class 10	Class 11	Class 12	Class 13	Not Classe	Total
Start Time															
02/07/1															
8	0	10	2	0	0	0	0	0	0	0	0	0	0	0	12
01:00	0	8	3	0	1	0	0	0	0	0	0	0	0	0	12
02:00	0	10	1	0	1	0	0	0	0	0	0	0	0	0	12
03:00	0	15	4	0	0	0	0	0	0	0	0	0	0	0	19
04:00	0	32	9	0	0	0	0	0	0	0	0	0	0	0	41
05:00	0	121	44	0	1	0	0	0	0	0	0	0	0	0	168
06:00	0	228	83	0	1	0	0	0	0	0	0	0	0	3	315
07:00	0	252	61	1	1	0	0	0	0	0	0	0	0	8	321
08:00	0	218	58	1	2	1	1	0	0	0	0	0	0	3	284
09:00	0	169	42	0	0	1	1	0	0	0	0	0	0	7	220
10:00	0	160	41	0	1	0	0	0	0	0	0	0	0	7	209
11:00	0	118	51	1	3	0	1	0	1	0	0	0	0	1	174
12 PM	0	129	54	1	1	0	0	1	0	0	0	0	0	5	191
13:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
14:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
15:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
16:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
17:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
18:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
19:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
20:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
21:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
22:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
23:00	.	.	.	.	.	.	.	.	.	.	.	.	.	.	.
Total	0	1468	453	4	12	2	3	1	1	0	0	0	0	32	1975
Percent	0.0%	74.3%	22.9%	0.2%	0.6%	0.1%	0.2%	0.1%	0.1%	0.0%	0.0%	0.0%	0.0%	1.6%	
AM Peak		07:00	06:00	07:00	11:00	08:00	08:00		11:00					09:00	07:00
Vol.		252	83	1	3	1	1		1					7	321
PM Peak		12:00	12:00	12:00	12:00			12:00						12:00	12:00
Vol.		129	54	1	1			1						5	191
Grand Total	0	2918	833	10	15	4	5	2	2	0	0	0	0	110	3907
Percent	0.0%	74.7%	21.3%	0.3%	0.4%	0.1%	0.1%	0.1%	0.1%	0.0%	0.0%	0.0%	0.0%	3.0%	

September 13, 2019

Bicycle & Pedestrian Infrastructure Assessment – Stuarts Draft

Appendix C
Patton Farm Road Culvert – Field Report

September 13, 2019

Bicycle & Pedestrian Infrastructure Assessment – Stuarts Draft

TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.



FIELD REPORT

Project Name: Stuarts Draft SAP	Location: Patton Farm Rd. over South River
Project No.: 37725	Permit No.:
Client: Augusta County	Weather: Sunny, 30°
Contractor: N/A	Date: February 3, 2018
Report by: Brian Wright	Portal to Portal Time:

Summary: Timmons Group (TG) completed a site visit to review the condition of the existing pipe culvert carrying Patton Farm Rd. over the South River. This visit, along with the provided structure inspection report, will be used to develop preliminary recommendations for any necessary improvements.

Timmons Group Employees: Brian Wright

Findings

The structure is an eight-barrel CMP culvert carrying one northbound lane and one southbound lane of Patton Farm Rd. over the South River. A reinforced concrete endwall is cast at both the inlet and outlet of the pipes. A reinforced concrete slab carries traffic over the CMPs.

The structure appears to be in generally good condition. A few of the pipe inlets exhibited minor debris build-up.

It appears that this structure is prone to somewhat frequent overtopping. Signs on the approach to the structure advise against crossing when water is over the roadway. There is also a water height gauge at both ends of the structure.

There is no railing protecting vehicles from driving into the waterway. The structure sits on a curve and is susceptible to distracted or otherwise impaired drivers driving off the road at this location.

Recommendation

Consideration should be given to raising the grade of this crossing in order to prevent frequent overtopping events. A hydraulic analysis would need to be completed to determine if this could be achieved with larger pipes, a culvert, or if a bridge is required.

At a minimum, some type of railing or guardrail should be installed to prevent traffic from driving into the waterway.

Report By:

Brian Wright

(Signature)

Brian Wright, EIT

(Print)

TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.



South approach. Note curve at the north approach and the water height gauge.



General condition of pipe outlets and endwall.

Report By: Brian Wright (Signature) Brian Wright, EIT (Print)

TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.



Debris at the inlet of Pipe 1.



Joint between reinforced concrete slab over pipes and general condition of slab.

Report By: *Brian Wright* (Signature) Brian Wright, EIT (Print)

September 13, 2019

Bicycle & Pedestrian Infrastructure Assessment – Stuarts Draft

Appendix D
Draft Avenue Bridge – Field Report

TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.



FIELD REPORT

Project Name: Stuarts Draft SAP	Location: Draft Ave. over South River
Project No.: 37725	Permit No.:
Client: Augusta County	Weather: Sunny, 30°
Contractor: N/A	Date: February 3, 2018
Report by: Brian Wright	Portal to Portal Time:

Summary: Timmons Group (TG) completed a site visit to review the condition of the existing bridge carrying Draft Ave. over the South River. This visit, along with the provided bridge inspection report, will be used to develop preliminary recommendations for any necessary improvements.

Timmons Group Employees: Brian Wright

Findings

The structure consists of four simple spans utilizing four cast-in-place reinforced concrete tee beams. The structure carries one northbound and one southbound lane of Draft Ave. over the South River.

The top of the bridge deck exhibits cracking throughout. Approximately 400 square feet of delamination is noted on the most recent inspection report. Previously patched areas are visible and appear to be sound. The expansion joints have failed at various locations at the piers and abutments, with the joint seal falling completely through the joint.

The bottom of the bridge deck exhibits cracking with scattered efflorescence. There are multiple spalls exposing deck reinforcing, which is corroded.

The beams are in good condition with areas of spalling and delamination typical at the beam ends. The heavy concentration of deterioration at the beams ends is likely due to water leaking through the failing joints.

The piers and abutments are generally in good condition.

There is heavy silt build up under the two northern-most spans that is stopping water underneath the structure and forcing it to flow back upstream.

Recommendation

The structure is performing sufficiently under current conditions. The structure's load rating should be periodically updated to account for any further deterioration.

If a widening of this structure is proposed, a superstructure replacement should be investigated as a potential alternative to a full bridge replacement due to the good condition of the substructure.

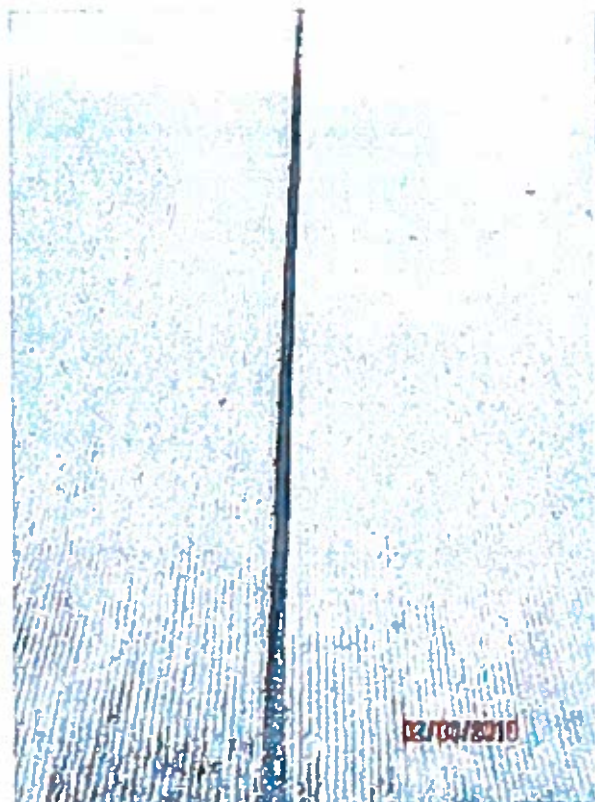
Report By: Brian Wright (Signature) Brian Wright, EIT (Print)

TIMMONS GROUP

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General condition of the top of the bridge deck. Note the cracking and old patches.



Failed joint seal over Pier 2. Other joints are similar.

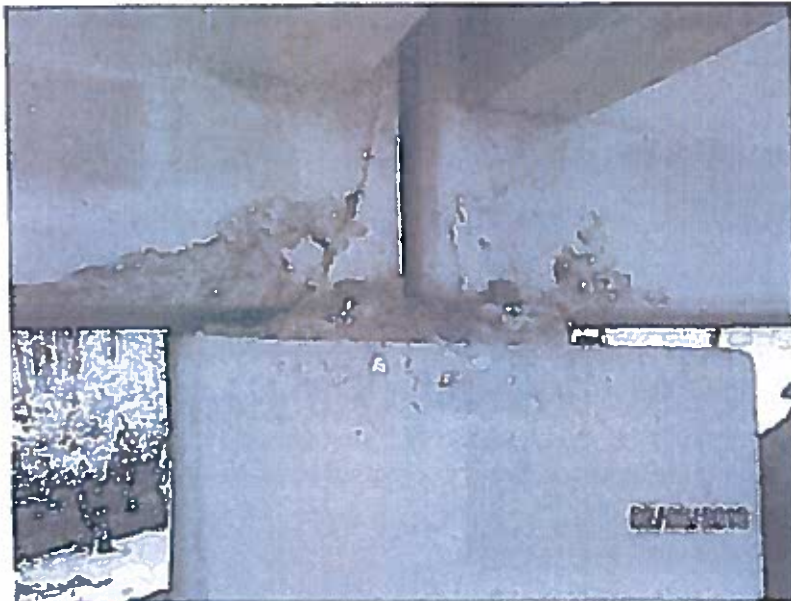
Report By: Brian Wright (Signature) Brian Wright, EIT (Print)

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Spalling and cracking with efflorescence in the Span 1, Bay 2 soffit.



Cracking and spalling in Beam 4 bearings at Pier 3. This beam end condition is typical at all supports for various beams.

Report By: Brian Wright (Signature) Brian Wright, EIT (Print)

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General condition of superstructure. This is Span 3.

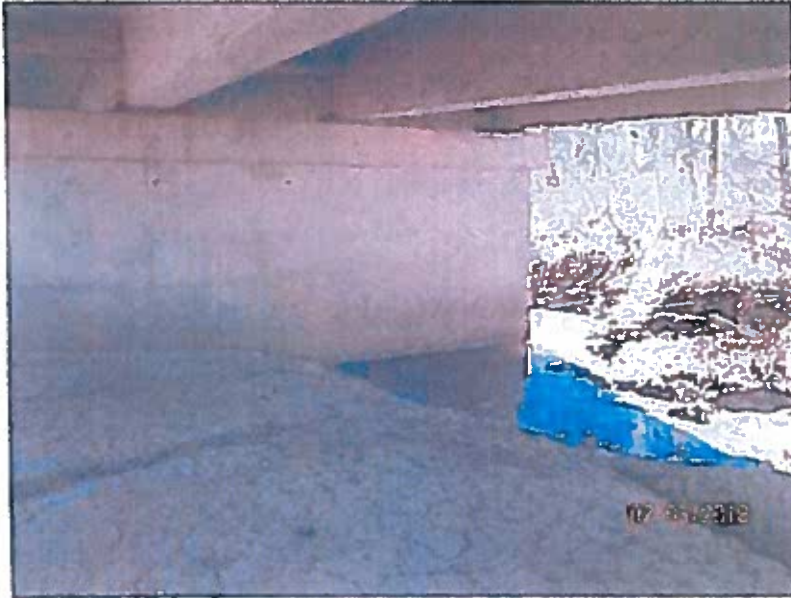


General condition of Piers. This is Pier 1.

Report By: Brian Wright (Signature) Brian Wright, EIT (Print)

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Water being backed up in Span 4 due to heavy silt build-up.

Report By: *Brian Wright* (Signature) Brian Wright, EIT (Print)

September 13, 2019

Bicycle & Pedestrian Infrastructure Assessment – Stuarts Draft

Appendix E
Engineer's Estimate of Probable Cost

**ENGINEER'S ESTIMATE OF PROBABLE COST
STUARTS DRAFT SMALL AREA PLAN
BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
AUGUSTA COUNTY, VA
09/13/2019**

Johnson Dry/Cold Spring Rd Connector				
Approx. 3,500' Multi-Use Path and/or Roadway Connector				
	Option 1 - Stone	Option 2 - Asphalt	Option 3 - Permeable Pavement	Option 4 - Full-Depth Roadway
CONSTRUCTION BID COSTS				
Roadway and/or Path	\$ 100,000	\$ 200,000	\$ 300,000	\$ 500,000
Grading and Earthwork	\$ 50,000	\$ 50,000	\$ 50,000	\$ 260,000
Creek Crossing(s)	\$ 325,000	\$ 325,000	\$ 325,000	\$ 1,300,000
Safety Fencing and/or Barrier	\$ -	\$ -	\$ -	\$ 50,000
Stormwater and Hydraulics (5%)	\$ 24,000	\$ 29,000	\$ 34,000	\$ 106,000
Miscellaneous Construction (5%)	\$ 24,000	\$ 29,000	\$ 34,000	\$ 106,000
Annual Maintenance Requirements	\$ 10,000	\$ 5,000	\$ 7,500	\$ 30,000
Sub-Total A:	\$ 533,000	\$ 838,000	\$ 750,500	\$ 2,352,000
OTHER BID COSTS				
Mobilization for Sub-Total A (Calculated per VDOT formulas)	\$ 44,975	\$ 52,850	\$ 61,288	\$ 147,600
Construction Surveying (1%)	\$ 5,330	\$ 6,380	\$ 7,505	\$ 23,520
Materials Testing (2%)	\$ 10,660	\$ 12,760	\$ 15,010	\$ 47,040
Sub-Total B:	\$ 60,965	\$ 71,990	\$ 83,803	\$ 218,160
Total Roadway Items (A + B):	\$ 595,000	\$ 710,000	\$ 835,000	\$ 2,570,000
DESIGN & ADMINISTRATIVE COSTS				
Construction Engineering & Inspection (10%)	\$ 59,500	\$ 71,000	\$ 83,500	\$ 257,000
Survey, Design Services, & Permitting (15%)	\$ 89,250	\$ 106,500	\$ 125,250	\$ 385,500
Wetlands Permitting & Mitigation (includes Floodplain Study)	\$ 75,000	\$ 75,000	\$ 75,000	\$ 200,000
Contingency for Total Bid Items (15%)	\$ 79,950	\$ 95,700	\$ 112,575	\$ 352,800
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 303,700	\$ 348,200	\$ 396,325	\$ 1,195,300
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 900,000	\$ 1,060,000	\$ 1,230,000	\$ 3,770,000
RIGHT OF WAY COSTS				
Utility Relocations (5%)	\$ 45,000	\$ 53,000	\$ 61,500	\$ 188,500
Right of Way - Real Estate Costs	\$ 137,500	\$ 137,500	\$ 137,500	\$ 172,000
Right of Way - Acquisition Costs	\$ 25,000	\$ 25,000	\$ 25,000	\$ 50,000
Right of Way - Contingency	\$ 31,125	\$ 32,325	\$ 33,600	\$ 61,575
ROW Total (ROUNDED):	\$ 240,000	\$ 250,000	\$ 260,000	\$ 470,000
Summary of Budget in VDOT 3 phased system				
Preliminary Engineering (PE)	\$ 160,000	\$ 180,000	\$ 200,000	\$ 590,000
Right of Way (RW)	\$ 240,000	\$ 250,000	\$ 260,000	\$ 470,000
Construction (CN)	\$ 730,000	\$ 880,000	\$ 1,030,000	\$ 3,180,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 1,130,000	\$ 1,310,000	\$ 1,490,000	\$ 4,240,000

Notes:
 (1) Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
 (2) Real Estate Values were figured on current Use assessment + 25% for Fair Market Value adjustment.
 (3) Assume Federal Participation (worst case scenario)

ENGINEER'S ESTIMATE OF PROBABLE COST
STUARTS DRAFT SMALL AREA PLAN
BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
AUGUSTA COUNTY, VA
09/13/2019

	Petton Farm Road			
	Culvert/Bridge Improvements			
	Install Guardrail Only	Option 1 - 10-Yr Design	Option 2 - 25-Yr Design	Option 3 - 100-Yr Design
CONSTRUCTION BID COSTS				
Roadway and/or Path	\$ 10,000	\$ 200,000	\$ 250,000	\$ 500,000
Grading and Earthwork	\$ 10,000	\$ 100,000	\$ 150,000	\$ 250,000
Creek Crossing(s)	\$ -	\$ 1,000,000	\$ 1,500,000	\$ 2,000,000
Safety Fencing and/or Barrier	\$ -	\$ -	\$ -	\$ 50,000
Stormwater and Hydraulics (5%)	\$ -	\$ 65,000	\$ 95,000	\$ 140,000
Miscellaneous Construction (5%)	\$ 1,000	\$ 65,000	\$ 95,000	\$ 140,000
Annual Maintenance Requirements	\$ -	\$ -	\$ -	\$ 30,000
Sub-Total A:	\$ 21,000	\$ 1,430,000	\$ 2,090,000	\$ 3,110,000
OTHER BID COSTS				
Mobilization for Sub-Total A (Calculated per VDOT formulas)	\$ 2,100	\$ 101,500	\$ 134,500	\$ 185,500
Construction Surveying (1%)	\$ 210	\$ 14,300	\$ 20,900	\$ 31,100
Materials Testing (2%)	\$ 420	\$ 28,600	\$ 41,800	\$ 62,200
Sub-Total B:	\$ 2,730	\$ 344,400	\$ 497,200	\$ 778,800
Total Roadway Items (A + B):	\$ 25,000	\$ 1,775,000	\$ 2,285,000	\$ 3,390,000
DESIGN & ADMINISTRATIVE COSTS				
Construction Engineering & Inspection (10%)	\$ 2,500	\$ 157,500	\$ 228,500	\$ 339,000
Survey, Design Services, & Permitting (15%)	\$ 3,750	\$ 236,250	\$ 347,750	\$ 508,500
Wetlands Permitting & Mitigation (Includes Floodplain Study)	\$ -	\$ 150,000	\$ 200,000	\$ 250,000
Contingency for Total Bid Items (15%)	\$ 3,150	\$ 214,500	\$ 313,500	\$ 466,500
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 9,400	\$ 756,250	\$ 1,084,750	\$ 1,564,000
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 30,000	\$ 2,330,000	\$ 3,370,000	\$ 4,950,000
RIGHT OF WAY COSTS				
Utility Relocations (5%)	\$ 1,500	\$ 116,500	\$ 169,500	\$ 247,500
Right of Way - Real Estate Costs	\$ -	\$ 3,200	\$ 3,200	\$ 4,500
Right of Way - Acquisition Costs	\$ -	\$ 10,000	\$ 10,000	\$ 10,000
Right of Way - Contingency	\$ 5,000	\$ 19,455	\$ 27,255	\$ 39,300
ROW Total (ROUNDED):	\$ 10,000	\$ 150,000	\$ 210,000	\$ 300,000
Summary of Budget in VDOT 3 phased system				
Preliminary Engineering (PE)	\$ -	\$ 390,000	\$ 540,000	\$ 760,000
Right of Way (RW)	\$ 10,000	\$ 150,000	\$ 210,000	\$ 300,000
Construction (CN)	\$ 30,000	\$ 1,950,000	\$ 2,830,000	\$ 4,200,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 40,000	\$ 2,490,000	\$ 3,580,000	\$ 5,260,000

Notes:
 (1) Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
 (2) Real Estate Values were Depreciated on current tax estimates + 25% for Fair Market Value adjustment.
 (3) Assumes Federal Participation (worst case scenario)

**ENGINEER'S ESTIMATE OF PROBABLE COST
STUARTS DRAFT SMALL AREA PLAN
BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
AUGUSTA COUNTY, VA
09/13/2019**

	Wayne Avenue - Draft to Crestview Bicycle/Pedestrian Improvements	Wayne Avenue - Crestview to Patton Farm Bicycle/Pedestrian Improvements
CONSTRUCTION BID COSTS		
Grading and Earthwork	\$ 37,950	\$ 115,000
Sidewalk & ADA Compliance Upgrades (11,500')	\$ 252,000	\$ -
Multi-Use Path (11,000')	\$ -	\$ 825,000
Stormwater and Hydraulics	\$ 82,500	\$ 250,000
Miscellaneous Construction (5%)	\$ 19,000	\$ 60,000
Sub-Total A:	\$ 391,450	\$ 1,250,000
OTHER BID COSTS		
Mobilization for Sub-Total A (Calculated per VDOT formulas)	\$ 34,359	\$ 92,500
Construction Surveying (1%)	\$ 3,915	\$ 12,500
Materials Testing (2%)	\$ 7,829	\$ 25,000
Sub-Total B:	\$ 46,102	\$ 130,000
Total Roadway Items (A + B):	\$ 440,000	\$ 1,380,000
DESIGN & ADMINISTRATIVE COSTS		
Construction Engineering & Inspection (10%)	\$ 44,000	\$ 138,000
Survey, Design Services, & Permitting (15%)	\$ 66,000	\$ 207,000
Wetlands Permitting & Mitigation (Includes Floodplain Study)	\$ 75,000	\$ 75,000
Contingency for Total Bid Items (15%)	\$ 58,718	\$ 187,500
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 243,718	\$ 607,500
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 680,000	\$ 1,990,000
RIGHT OF WAY COSTS		
Utility Relocations (25%)	\$ 170,000	\$ 497,500
Right of Way - Real Estate Costs	\$ 36,399	\$ 110,300
Right of Way - Acquisition Costs	\$ 24,750	\$ 75,000
Right of Way - Contingency	\$ 34,672	\$ 102,420
ROW Total (ROUNDED):	\$ 270,000	\$ 790,000
Summary of Budget in VDOT 3 phased system		
Preliminary Engineering (PE)	\$ 140,000	\$ 280,000
Right of Way (RW)	\$ 270,000	\$ 790,000
Construction (CN)	\$ 540,000	\$ 1,710,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 950,000	\$ 2,780,000

Notes:
 (1) Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
 (2) Real Estate Values were figured on current tax assessments + 25% for Fair Market Value adjustment.
 (3) Assumes Federal Participation (worst case scenario)

ENGINEER'S ESTIMATE OF PROBABLE COST
STUARTS DRAFT SMALL AREA PLAN
BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
 AUGUSTA COUNTY, VA
 09/13/2019

	Draft Avenue Bicycle & Pedestrian Improvements				
	Option 1 - Complete Existing Sidewalk Network	Option 2 - ADA Compliance Existing Locations	Option 3 - Pavement Marking Options Only	Option 4 - Improvements South of At-Grade Railroad	Option 5 - Widen Roadway to Install Bicycle/Pedestrian Improvements
CONSTRUCTION BID COSTS					
Sidewalk & ADA Compliance Upgrades	\$ 240,000	\$ 100,000	\$ 50,000	\$ 555,000	\$ 1,110,000
Bicycle Improvements	\$ -	\$ -	\$ 50,000	\$ -	\$ 1,110,000
Grading and Earthwork	\$ 118,000	\$ 50,000	\$ -	\$ 250,000	\$ 3,220,000
At-Grade Railroad Crossing	\$ -	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000
Stormwater and Hydraulics (25%)	\$ 90,000	\$ 9,000	\$ -	\$ 42,000	\$ 273,000
Miscellaneous Construction (5%)	\$ 18,000	\$ 9,000	\$ 6,000	\$ 42,000	\$ 273,000
Sub-Total A:	\$ 466,000	\$ 193,000.00	\$ 131,000.00	\$ 914,000.00	\$ 6,011,000.00
OTHER BID COSTS					
Mobilization for Sub-Total A (Calculated per VDOT formula)	\$ 39,950	\$ 19,300	\$ 13,100	\$ 73,550	\$ 390,550
Construction Surety (1%)	\$ 4,660	\$ 1,930	\$ 1,310	\$ 9,140	\$ 60,110
Materials Testing (2%)	\$ 9,320	\$ 3,860	\$ 2,620	\$ 18,280	\$ 120,220
Sub-Total B:	\$ 53,930	\$ 25,090	\$ 17,030	\$ 100,970	\$ 510,880
Total Roadway Items (A + B):	\$ 520,000	\$ 220,000	\$ 150,000	\$ 1,015,000	\$ 6,530,000
DESIGN & ADMINISTRATIVE COSTS					
Construction Engineering & Inspection (10%)	\$ 52,000	\$ 22,000	\$ 15,000	\$ 101,500	\$ 652,000
Survey, Design Services, & Permitting (15%)	\$ 78,000	\$ 33,000	\$ 22,500	\$ 152,250	\$ 653,000
Wetlands Permitting & Mitigation (Includes Foodplain Study)	\$ 25,000	\$ -	\$ -	\$ 150,000	\$ 250,000
Contingency for Total Bid Items (15%)	\$ 63,900	\$ 28,950	\$ 19,650	\$ 137,100	\$ 901,650
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 224,900	\$ 83,950	\$ 57,150	\$ 540,650	\$ 2,455,650
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 740,000	\$ 300,000	\$ 210,000	\$ 1,560,000	\$ 8,980,000
RIGHT OF WAY COSTS					
Utility Relocations (25%)	\$ 185,000	\$ 60,000	\$ -	\$ 390,000	\$ 2,245,000
Right of Way - Real Estate Costs	\$ 55,300	\$ 25,000	\$ -	\$ 184,650	\$ 377,300
Right of Way - Acquisition Costs	\$ 25,000	\$ 25,000	\$ -	\$ 50,000	\$ 175,000
Right of Way - Contingency	\$ 39,795	\$ 16,500	\$ 10,000	\$ 94,298	\$ 412,095
ROW Total (ROUNDED):	\$ 310,000	\$ 130,000	\$ 10,000	\$ 720,000	\$ 3,160,000
Summary of Budget in VDOT 3 phased System					
Preliminary Engineering (PE)	\$ 100,000	\$ 30,000	\$ 20,000	\$ 300,000	\$ 900,000
Right of Way (ROW)	\$ 310,000	\$ 130,000	\$ 10,000	\$ 720,000	\$ 3,160,000
Construction (CN)	\$ 640,000	\$ 270,000	\$ 180,000	\$ 1,250,000	\$ 8,070,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 1,050,000	\$ 430,000	\$ 210,000	\$ 2,270,000	\$ 12,130,000

Notes:
 (1) Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
 (2) Available Values were ignored on current bid instrument + 21% for PAH Model Value department.
 (3) Assumes Federal Participation (credit case scenario)

**ENGINEER'S ESTIMATE OF PROBABLE COST
STUARTS DRAFT SMALL AREA PLAN
BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
AUGUSTA COUNTY, VA
09/13/2019**

	Greenway		
	Option 1 - Stone	Option 2 - Asphalt	Option 3 - Permeable Pavement
Approx. 7.3 miles Multi-Use path			
CONSTRUCTION BID COSTS			
Rightway and/or Path	\$ 1,255,000	\$ 1,735,000	\$ 2,890,000
Grading and Earthwork	\$ 585,000	\$ 585,000	\$ 585,000
Creek Crossings ⁽¹⁾	\$ 100,000	\$ 100,000	\$ 100,000
Salary/Fencing and/or Barrier	\$ 125,000	\$ 125,000	\$ 125,000
Stormwater and Hydraulics (5%)	\$ 103,000	\$ 127,000	\$ 185,000
Miscellaneous Construction (5%)	\$ 103,000	\$ 127,000	\$ 185,000
Annual Maintenance Requirements	\$ 50,000	\$ 24,000	\$ 62,000
Sub-Total A:	\$ 2,371,000	\$ 2,873,000	\$ 4,132,000
OTHER BID COSTS			
Mobilization for Sub-Total A (Calculated per VDOT formula)	\$ 146,050	\$ 171,150	\$ 236,600
Construction Surveying (1%)	\$ 23,210	\$ 28,230	\$ 41,370
Materials Testing (2%)	\$ 46,420	\$ 56,460	\$ 82,640
Sub-Total B:	\$ 215,680	\$ 255,840	\$ 360,610
Total Roadway Items (A + B):	\$ 2,586,680	\$ 3,128,840	\$ 4,492,610
DESIGN & ADMINISTRATIVE COSTS			
Construction Engineering & Inspection (10%)	\$ 258,668	\$ 308,000	\$ 449,500
Survey, Design Services, & Permitting (15%)	\$ 387,990	\$ 467,000	\$ 674,250
Wellheads Permitting & Mitigation (Includes Floodplain Study)	\$ 250,000	\$ 250,000	\$ 250,000
Contingency for Total Bid Items (15%)	\$ 387,990	\$ 467,000	\$ 674,250
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 1,384,648	\$ 1,482,000	\$ 1,998,000
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 3,971,328	\$ 4,610,840	\$ 6,490,610
RISKT OF WAY COSTS			
Utility Relocation (5%)	\$ 189,500	\$ 226,000	\$ 324,500
Right of Way - Real Estate Costs	\$ 925,000	\$ 925,000	\$ 925,000
Right of Way - Acquisition Costs	\$ 125,000	\$ 125,000	\$ 125,000
Right of Way - Contingency	\$ 185,775	\$ 191,400	\$ 206,175
ROW Total (ROUNDED):	\$ 3,425,275	\$ 3,467,400	\$ 3,581,175
Summary of Budget in VDOT 3 phased system:			
Preliminary Engineering (PE)	\$ 830,000	\$ 710,000	\$ 920,000
Right of Way (ROW)	\$ 3,425,275	\$ 3,467,400	\$ 3,581,175
Construction (CN)	\$ 5,190,000	\$ 5,990,000	\$ 8,060,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 9,445,275	\$ 10,167,400	\$ 12,561,175

⁽¹⁾ Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
⁽²⁾ Real Estate Values were figured on current (2019) assessment + 25% for / per Market Value adjustment.
⁽³⁾ Assumes Federal Participation (percent case scenario)

ENGINEER'S ESTIMATE OF PROBABLE COST
 STUARTS DRAFT SMALL AREA PLAN
 BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
 AUGUSTA COUNTY, VA
 09/13/2019

	Draft Avenue (bridge Only)	
	Option 1 - Pedestrian Bridge	Option 2 - Widen Existing Bridge
CONSTRUCTION BID COSTS		
Roadway and/or Path	\$ -	\$ 100,000
Grading and Earthwork	\$ 100,000	\$ 100,000
Creek Crossing(s)	\$ 960,000	\$ 2,880,000
Safety Fencing and/or Barrier	\$ 35,000	\$ 75,000
Stormwater and Hydraulics (5%)	\$ 55,000	\$ 158,000
Miscellaneous Construction (5%)	\$ 55,000	\$ 158,000
Annual Maintenance Requirements	\$ 13,000	\$ 35,000
Sub-Total A:	\$ 1,218,000	\$ 3,506,000
OTHER BID COSTS		
Modification for Sub-Total A (Calculated per VDOT formula)	\$ 90,900	\$ 205,300
Construction Surveying (1%)	\$ 12,180	\$ 35,060
Materials Testing (2%)	\$ 24,360	\$ 70,120
Sub-Total B:	\$ 127,440	\$ 310,480
Total Roadway Items (A + B):	\$ 1,345,440	\$ 3,816,480
DESIGN & ADMINISTRATIVE COSTS		
Construction Engineering & Inspection (10%)	\$ 134,544	\$ 381,648
Survey, Design Services, & Permitting	\$ 201,750	\$ 381,500
Wetlands Permitting & Mitigation (Includes Floodplain Study)	\$ 150,000	\$ 250,000
Contingency for Total Bid Items (1.5%)	\$ 182,700	\$ 525,900
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 668,994	\$ 1,539,048
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 2,014,434	\$ 5,355,528
RIGHT OF WAY COSTS		
Utility Relocations (5%)	\$ 100,500	\$ 268,000
Right of Way - Real Estate Costs	\$ 5,000	\$ 5,000
Right of Way - Acquisition Costs	\$ 10,000	\$ 10,000
Right of Way - Contingency	\$ 17,325	\$ 42,450
ROW Total (ROUNDED):	\$ 132,825	\$ 325,450
Summary of Budget in VDOT 3 Phased System		
Preliminary Engineering (PE)	\$ 350,000	\$ 630,000
Right of Way (ROW)	\$ 130,000	\$ 330,000
Construction (C)	\$ 1,660,000	\$ 4,720,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 2,140,000	\$ 5,680,000

Notes:
 (1) Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
 (2) Real Estate Values were figured on current tax assessment + 3% for Fair Market Value adjustment.
 (3) Assumes Federal Participation (worst case scenario)

ENGINEER'S ESTIMATE OF PROBABLE COST
STUARTS DRAFT SMALL AREA PLAN
BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
AUGUSTA COUNTY, VA
09/13/2019

	Howardville Trpk/ Hodge St Bicycle/Pedestrian Improvements
CONSTRUCTION BID COSTS	
Grading and Earthwork	\$ 96,000
Traffic Signal Pedestrian Upgrades	\$ 50,000
Sidewalk & ADA Compliance Upgrades (2,750')	\$ 440,000
Stormwater and Hydraulics (25%)	\$ 147,000
Miscellaneous Construction (5%)	\$ 29,000
Sub-Total A:	\$ 762,000
OTHER BID COSTS	
Mobilization for Sub-Total A (Calculated per VDOT formula)	\$ 62,150
Construction Surveying (1%)	\$ 7,620
Material Testing (2%)	\$ 15,240
Sub-Total B:	\$ 85,010
Total Roadway Items (A + B):	\$ 845,000
DESIGN & ADMINISTRATIVE COSTS	
Construction Engineering & Inspection (10%)	\$ 84,500
Survey, Design Services, & Permitting (15%)	\$ 126,750
Contingency for Total Bid Items (15%)	\$ 114,300
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 325,550
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 1,170,000
RIGHT OF WAY COSTS	
Utility Relocations (25%)	\$ 297,500
Right of Way - Real Estate Costs	\$ 91,500
Right of Way - Acquisition Costs	\$ 75,000
Right of Way - Contingency	\$ 68,850
ROW Total (ROUNDED):	\$ 530,000
Summary of Budget in VDOT 3 phased system	
Preliminary Engineering (PE)	\$ 130,000
Right of Way (RW)	\$ 530,000
Construction (CN)	\$ 1,040,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 1,700,000

Notes:
(1) Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
(2) Real Estate Values were figured on current tax assessment + 25% for Fair Market Value adjustment.
(3) Assumes Federal Participation (invested cash scenario).

ENGINEER'S ESTIMATE OF PROBABLE COST
 STUART'S DRAFT SMALL AREA PLAN
 BICYCLE PEDESTRIAN INFRASTRUCTURE ASSESSMENT
 AUGUSTA COUNTY, VA
 09/13/2019

	Cold Springs Road Bicycle/Pedestrian Improvements
CONSTRUCTION BID COSTS	
Grading and Earthwork	\$ 124,000
Creek Crossing(s)	\$ 114,000
Sidewalk & ADA Compliance Upgrades (4.150')	\$ 650,000
Stormwater and Hydraulics (20%)	\$ 178,000
Miscellaneous Construction (5%)	\$ 44,000
Sub-Total A:	\$ 1,110,000
OTHER BID COSTS	
Mobilization for Sub-Total A (Calculated per VDOT formula)	\$ 85,500
Construction Surveying (1%)	\$ 11,100
Materials Testing (2%)	\$ 22,200
Sub-Total B:	\$ 118,800
Total Roadway Items (A + B):	\$ 1,230,000
DESIGN & ADMINISTRATIVE COSTS	
Construction Engineering & Inspection (10%)	\$ 123,000
Survey, Design Services, & Permitting (15%)	\$ 184,500
Contingency for Total Bid Items (15%)	\$ 366,500
Sub-Total C (Total Bid Items + Other Administrative Costs):	\$ 474,000
GRAND TOTAL (A+B+C) (ROUNDED)	\$ 1,700,000
RIGHT OF WAY COSTS	
Utility Relocations (25%)	\$ 425,000
Right of Way - Real Estate Costs	\$ 146,600
Right of Way - Acquisition Costs	\$ 75,000
Right of Way - Contingency	\$ 95,390
ROW Total (ROUNDED):	\$ 740,000
Summary of Budget in VDOT 3 phased system	
Preliminary Engineering (PE)	\$ 380,000
Right of Way (RW)	\$ 740,000
Construction (CN)	\$ 1,520,000
TOTAL RECOMMENDED PROJECT BUDGET	\$ 2,440,000

Notes:
 (1) Although there is a chance that a significant amount of the ROW could be donated, we have assumed that the ROW will be acquired for budgeting purposes.
 (2) Real Estate Values were derived on current (as estimated) + 3% for Fair Market Value adjustment.
 (3) Assume Federal Participation (most case scenario)

STUARTS DRAFT BICYCLE & PEDESTRIAN CORRIDORS

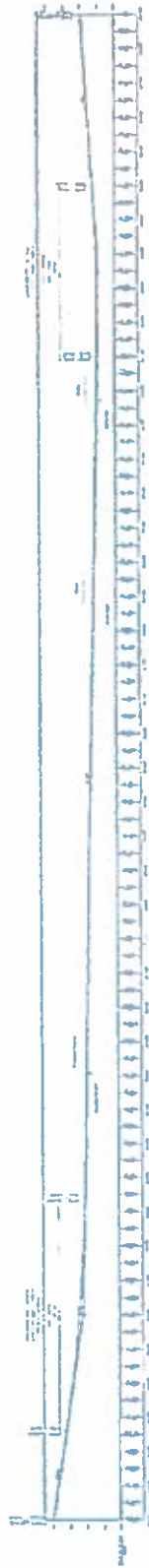
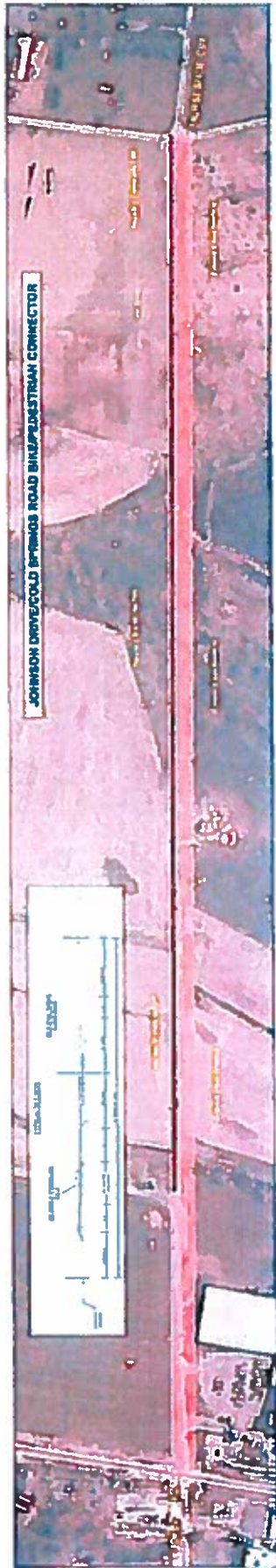


- Proposed Sidewalk and Curbside Improvements**
- Drift Avenue Corridor
 - Wayne Avenue Corridor
 - Cold Springs Road Corridor
 - Proposed Multi-Use Trail
 - Johnson Drive / Cold Springs Connector
 - Proposed Stuart's Draft Greenway
 - Wayne Avenue Corridor
 - Other
- Existing Wetland Areas**
- South River
 - Proposed Treatment & Parking



Appendix F

Presentation Materials



CONVENE CLOSED SESSION

February 24, 2020

(In) MOTION: _____ SECOND: _____ VOTE: _____

(Out) _____

(Certify) _____

I move that the Board of Supervisors of Augusta County convene in closed session pursuant to:

- (1) **the personnel exemption under Virginia Code § 2.2-3711(A) (1)**
[discussion, consideration or interviews of (a) prospective candidates for employment, or (b) assignment, appointment, promotion, performance, demotion, salaries, disciplining or resignation of specific employees]:
 - a) Boards and Commissions: Youth Commission, Ag Industry Board, Economic Development Authority, Ag & Forestal Dist., Planning Commission, and BZA

- (2) **the economic development exemption under Virginia Code § 2.2-3711(A) (5)**
[discussion concerning a prospective business or industry or the expansion of an existing business or industry where no previous announcement has been made of its interest in locating or expanding its facilities in the county]:
 - a) Proposed Office space, flex space, storage facilities, manufacturing facilities, utility and mixed use development.

**ADVANCED
A G E N D A**

REGULAR MEETING OF THE AUGUSTA COUNTY BOARD OF SUPERVISORS

WEDNESDAY, FEBRUARY 26, 2020, at 7:00 p.m.

Board Meeting Room, Government Center, Verona, VA

ITEM NO.	DESCRIPTION
7:00 P.M.	PLEDGE OF ALLEGIANCE
	INVOCATION - Public participation is optional; those who wish to join the Board of Supervisors in prayer are asked to remain standing after the Pledge.
PUBLIC HEARING:	
2-08	<u>JASON A. AND KIMBERLY D. ALMARODE AND DYLAND R CAMPBELL-REZONING</u> Consider a request to rezone from Single Family Residential 10 to General Agriculture approximately 10.5 acres (TMP 85-121) owned by Jason A. and Kimberly D. Almarode and Dylan R. Campbell. The Planning Commission recommends denial.
2-09	<u>ZAPTON PROPERTY-111/113 SOUTH AUGUSTA ST.</u> Consider the lease of real estate (111/113 South Augusta Street in the City of Staunton, VA) owned by the County of Augusta and authorize the County Administrator to sign and execute the documents.
END OF PUBLIC HEARINGS	
2-10	<u>MATTERS TO BE PRESENTED BY THE PUBLIC</u>
2-11	<u>DUPONT SETTLEMENT MONEY (NRDAR)</u> Consider property purchase for the Dooms Crossing site.
2-12	<u>STUARTS DRAFT RURITAN CLUB</u> Consider funding from the South River Infrastructure for a water leak at Schneider Park. Funding Source: South River Infrastructure 8016-95 \$1,877.88

2-13 **SPOTTSWOOD COMMUNITY CENTER**

Consider funding from the Riverheads Infrastructure for South Augusta ballfield improvements.

Funding Source: Riverheads Infrastructure 8015-85

Light Repair \$1,344.00

Sound Panels for meeting room \$2,610.00

2-14 **WAIVERS**

2-15 **MATTERS TO BE PRESENTED BY THE BOARD**

2-16 **MATTERS TO BE PRESENTED BY STAFF**

2-17 **CLOSED SESSION**